

# Northern Planning Committee

## Supplementary Agenda

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**Date:** Wednesday 1st October, 2025

**Time:** 10.30 am

**Venue:** The Capesthorne Room - Town Hall, Macclesfield, SK10 1EA

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5. **24/4391/FUL - LAND WEST OF ALDERLEY ROAD, WILMSLOW, SK9 1PZ: Demolition of existing buildings and erection of care home with associated parking, landscaping and access improvements** (Pages 3 - 20)

Revised Key Plans.

6. **25/0676/FUL - ST GEORGES STREET BAPTIST CHURCH ST GEORGES STREET, MACCLESFIELD, SK11 6TG: Converting St Georges Street Baptist Church into 8 luxury apartments and a 6-bedroom House in Multiple Occupation (HMO)** (Pages 21 - 34)

Revised Key Plans.

7. **25/1947/FUL - SHERWOOD, 33 ADLINGTON ROAD, WILMSLOW, SK9 2BJ: The creation of two new houses to the rear of the existing house 33 Adlington Road** (Pages 35 - 44)

Revised Key Plans.

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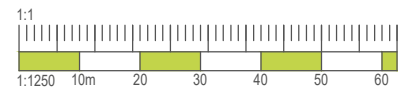
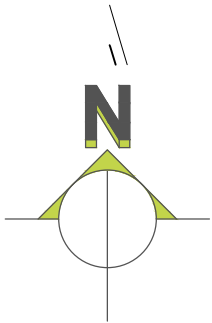


24/4391/FUL

Land West of Alderley Road,

Wilmslow,

SK9 1PZ



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Notes

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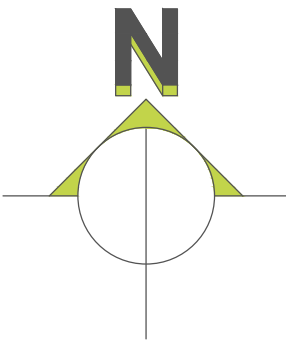
REV	DATE	REVISION	INITIALS	CHECK
A	24/09/24	Issued for Planning	HPC	HPC
B	08/10/24	Issued for Planning	HPC	HPC

Client	
McGoff Group Projects Ltd.	
Project	
Proposed Care Home Alderley Road, Wilmslow	
Drawing Title	
Location Plan	
Scale	Date
1:1250 @ A4	09/09/24
Drawn by	Checked by
HPC	HPC
Drawing No.	Revision
M0209-101	B
PLANNING	





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A	24/09/24	Issued for Planning	JO	HPC
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Topographical Surveys by -



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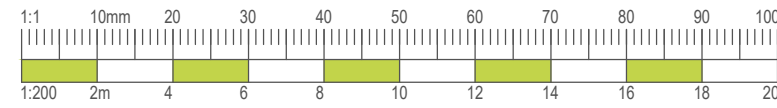


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Client  
McGoff Group Projects Ltd.

**Project**  
Proposed Care Home  
Alderley Road, Wilmslow

**Drawing Title**  
Existing Site Plan

**Scale**  
1:200 @ A1

**Date**  
09/09/24

**Drawn by**  
JO

**Checked by**  
HPC

**Drawing No.**  
M0209 - 102

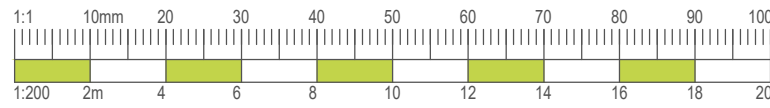
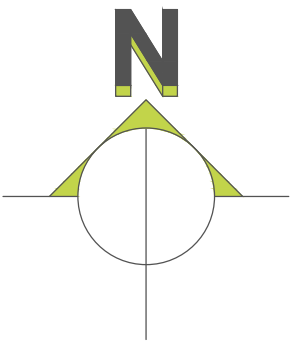
**Revision**  
B


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REV	DATE	REVISION	INITIALS	CHECK	
A	24/09/24	Issued for Planning	WY	HPC	
B	08/10/24	Issued for Planning	JO	HPC	
C	08/09/25	Parking increased to suit planning committee comments	HPC	HPC	





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**Client**  
McGoff Group Projects Ltd.

**Project**  
Proposed Care Home  
Alderley Road, Wilmslow

**Drawing Title**  
Proposed Site Plan  
With Roof Plan

**Scale**  
1:200 @ A1

**Date**  
14/08/24

**Drawn by**  
JO

**Checked by**  
HPC

**Drawing No.**  
M0209 - 104

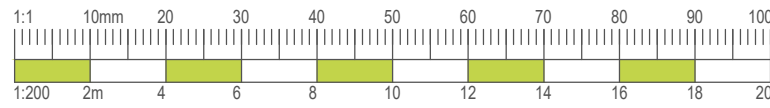
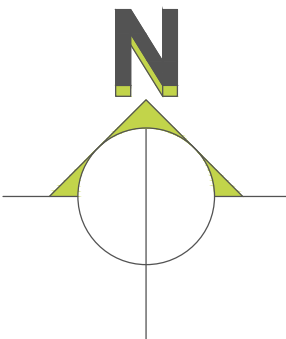
**Revision**  
C

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B	08/10/24	Issued for Planning	JO	HPC
C	08/09/25	Parking increased to suit planning committee comments	HPC	HPC





**C Squared architects**

Client  
McGoff Group Projects Ltd.

**Project**  
Proposed Care Home  
Alderley Road, Wilmslow

**Drawing Title**  
Proposed Site Plan  
with Floor Plan

**Scale**  
1:200 @ A1

**Date**  
14/08/24

**Drawn by**  
JO

**Checked by**  
HPC

**Drawing No.**  
M0209 - 103

**Revision**  
C

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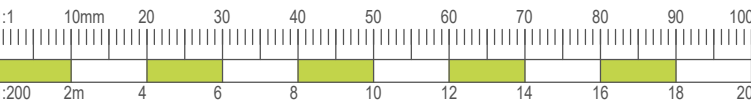
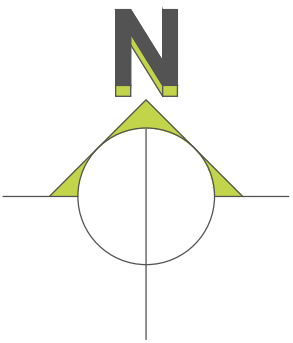
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**Project**  
Proposed Care Home  
Alderley Road, Wilmslow

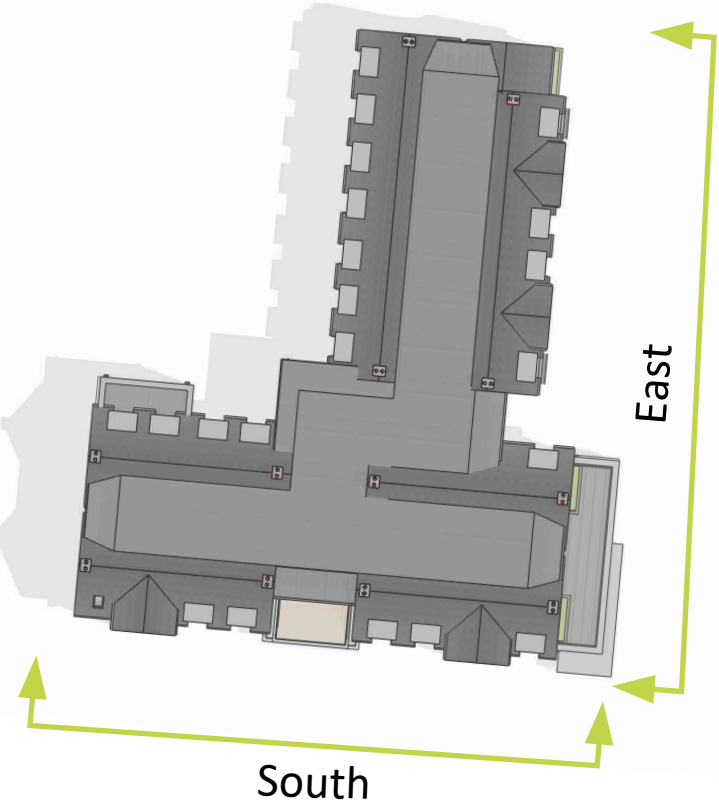
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Proposed Coloured Site Plan

Scale	Date
1:200 @ A1	14/08/24
Drawn by	Checked by
JO	HPC
Drawing No.	Revision
M0209 - 105	C
PLANNING	





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A	24/09/24	Issued for Planning	JO	HPC
B	11/10/24	Issued for Planning	JO	HPC



- Material Finishes**

**Facing brick Plinth and Bays** -Darkish Red Multi

**Facing brick of Rear Building** -Red Multi

**Feature Panels** -Timber Effect

**Feature Chimneys** -Red Multi

**Roof** -Grey Composite Slate Tile
- Window Heads** -Red Multi

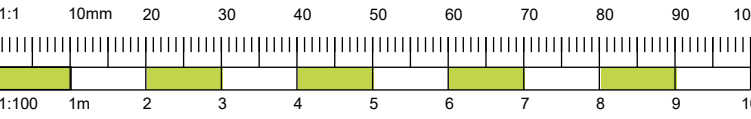
**Rainwater Goods** -Dark Grey

**Fascia and Soffits** -Dark Grey

**Windows, Doors** -Dark Grey

**Louvre's** -Dark Grey

**Dormers and Link Building** - Dark Grey





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**Client**  
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**Project**  
Alderley Road, Wilmslow

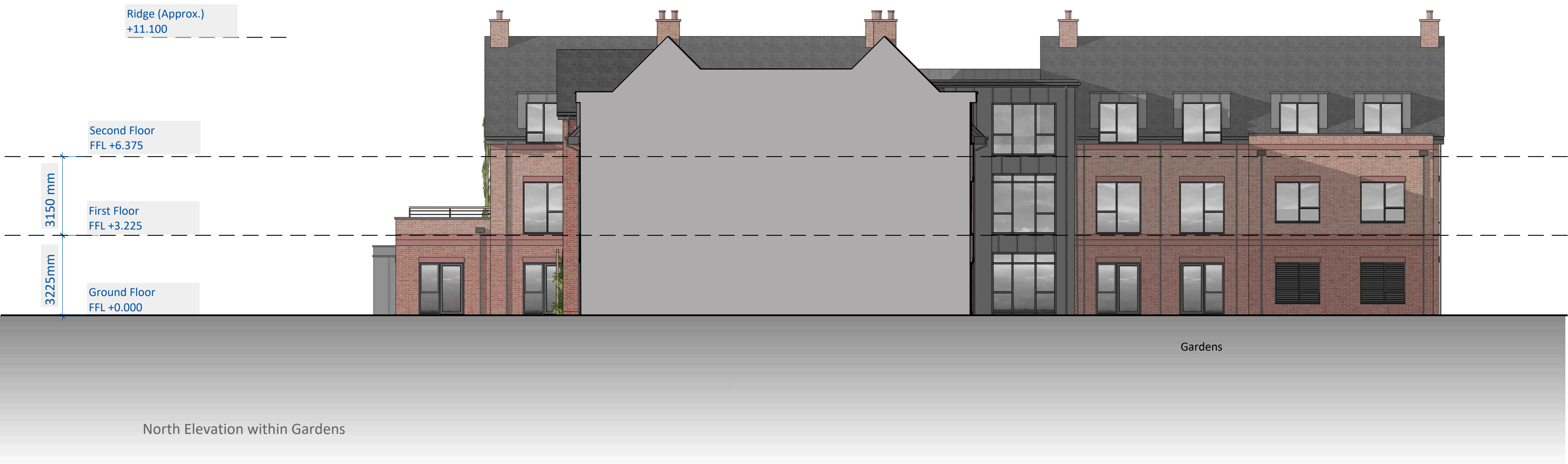
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Elevations - Sheet 1 of 3

Scale	Date
1:100 @ A1	06/09/24
Drawn By	Checked By
JO	HPC

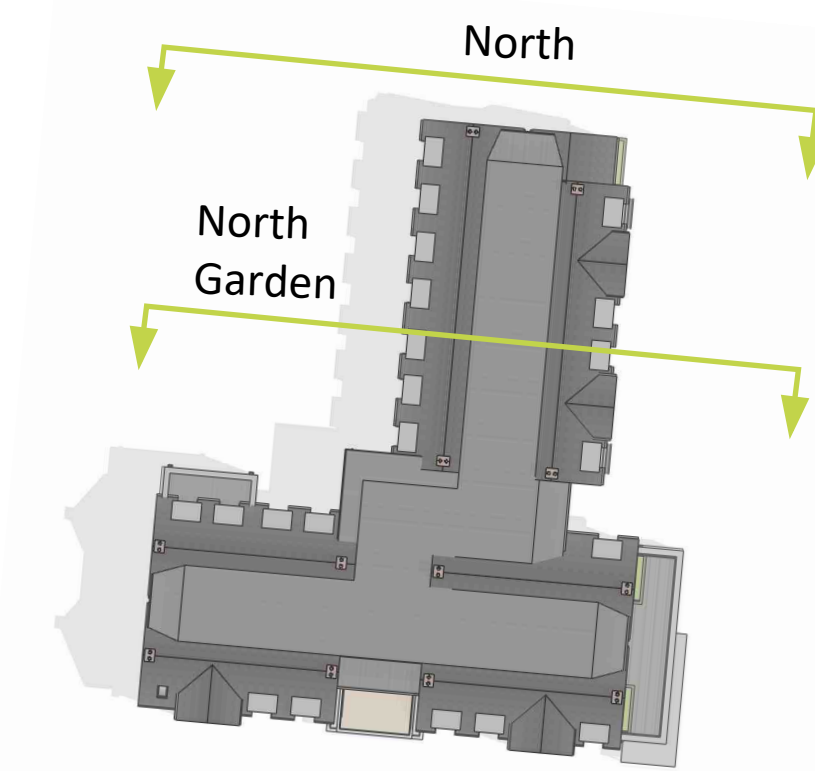
Drawing No.	Revision
M0209 - 120	B

**PLANNING**





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- Material Finishes**

**Facing brick Plinth and Bays** -Darkish Red Multi

**Facing brick of Rear Building** -Red Multi

**Feature Panels** -Timber Effect

**Feature Chimneys** -Red Multi

**Roof** -Grey Composite Slate Tile
- Window Heads** -Red Multi

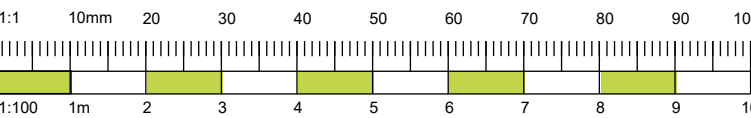
**Rainwater Goods** -Dark Grey

**Fascia and Soffits** -Dark Grey

**Windows, Doors** -Dark Grey

**Louvre's** -Dark Grey

**Dormers and Link Building** - Dark Grey





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**Client**  
McGoff Group Projects Ltd.

**Project**  
Alderley Road, Wilmslow

**Drawing Title**  
Elevations - Sheet 2 of 3

**Scale**  
1:100 @ A1

**Date**  
06/09/24

**Drawn By**  
JO

**Checked By**  
HPC

**Drawing No.**  
M0209 - 121

**Revision**  
B

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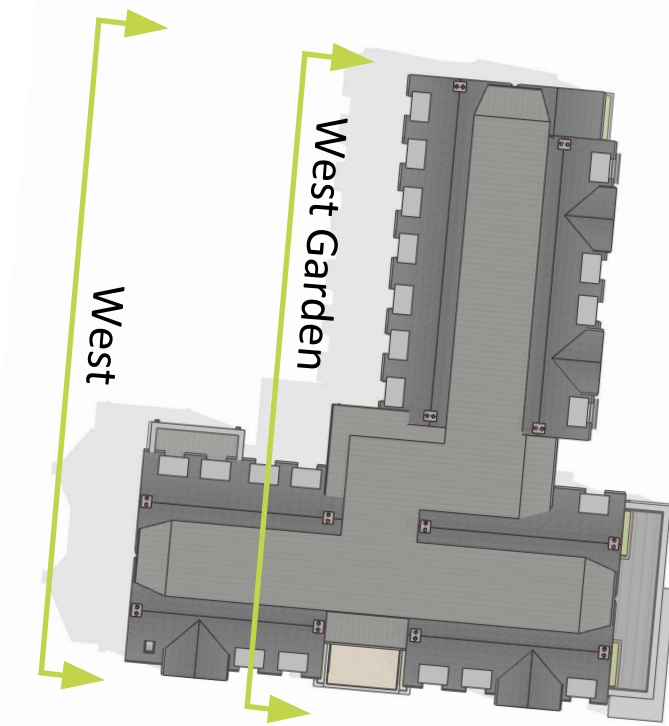
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A	24/09/24	Issued for Planning	JO	HPC
B	11/10/24	Issued for Planning	JO	HPC
C	13/08/25	Missing Window Added to West Elevation	JO	HPC



- Material Finishes**

**Facing brick Plinth and Bays** -Darkish Red Multi

**Facing brick of Rear Building** -Red Multi

**Feature Panels** -Timber Effect

**Feature Chimneys** -Red Multi

**Roof** -Grey Composite Slate Tile
- Window Heads** -Red Multi

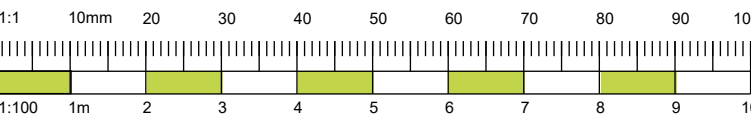
**Rainwater Goods** -Dark Grey

**Fascia and Soffits** -Dark Grey

**Windows, Doors** -Dark Grey

**Louvre's** -Dark Grey

**Dormers and Link Building** - Dark Grey





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**Client**  
McGoff Group Projects Ltd.

**Project**  
Alderley Road, Wilmslow

**Drawing Title**  
Elevations - Sheet 3 of 3

**Scale**  
1:100 @ A1

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JO

**Drawing No.**  
M0209 - 122

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**Revision**  
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**PLANNING**





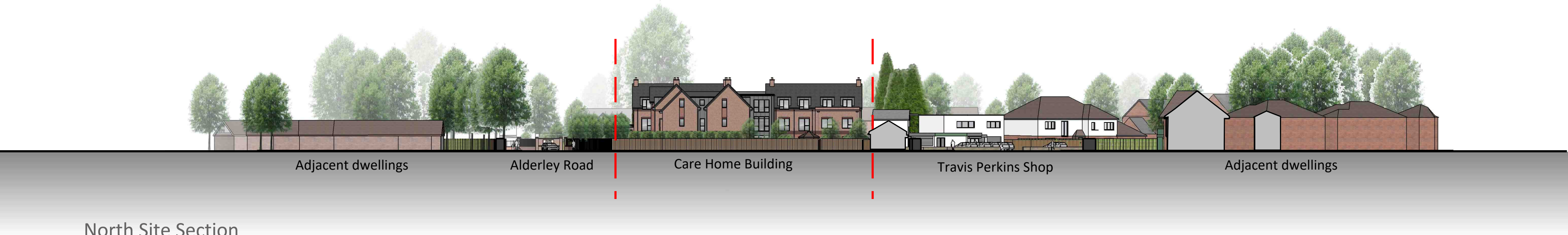
South Site Section



East Site Section

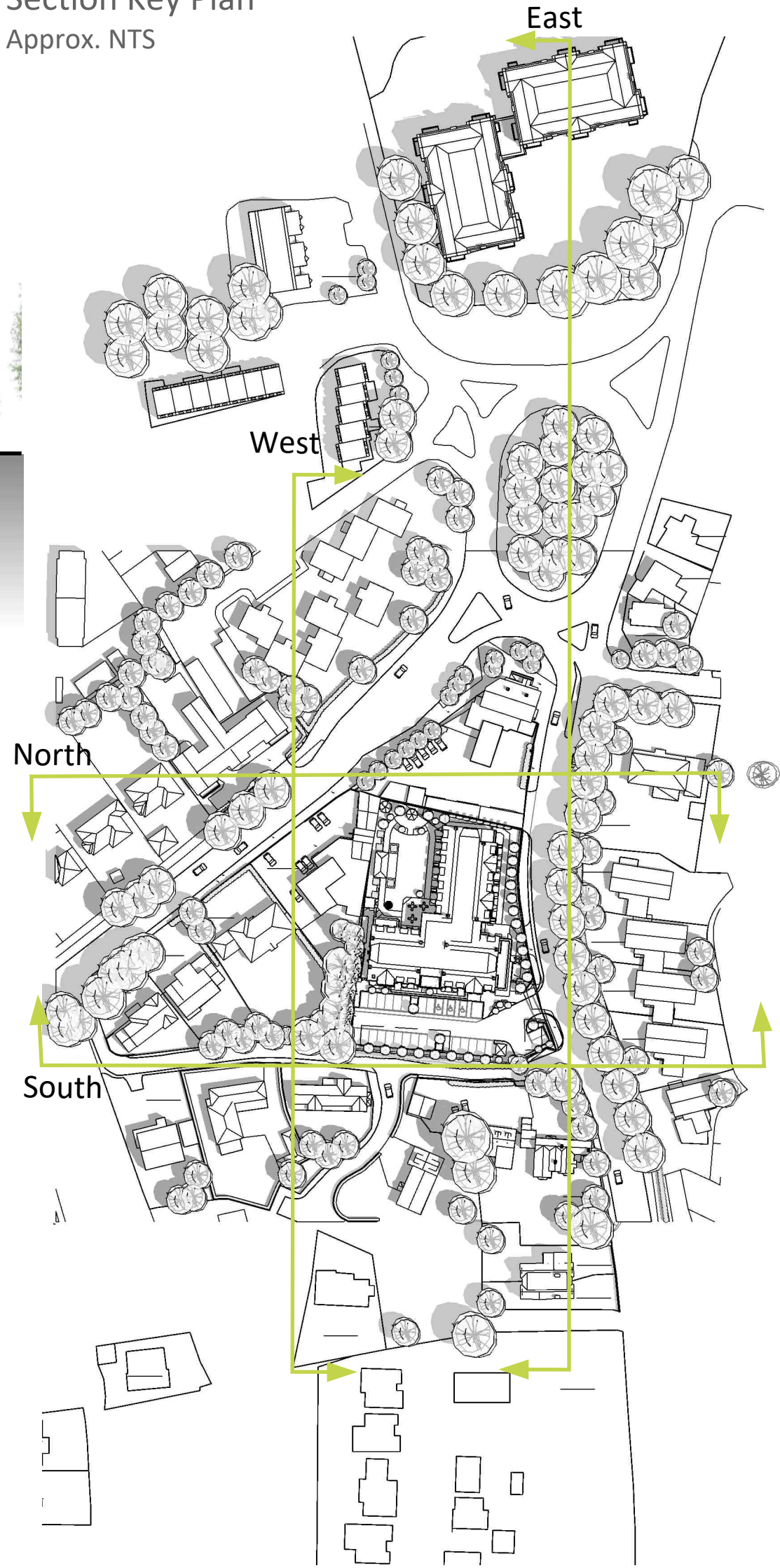


West Site Section




North Site Section

Section Key Plan  
Approx. NTS



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Alderley Road, Wilmslow

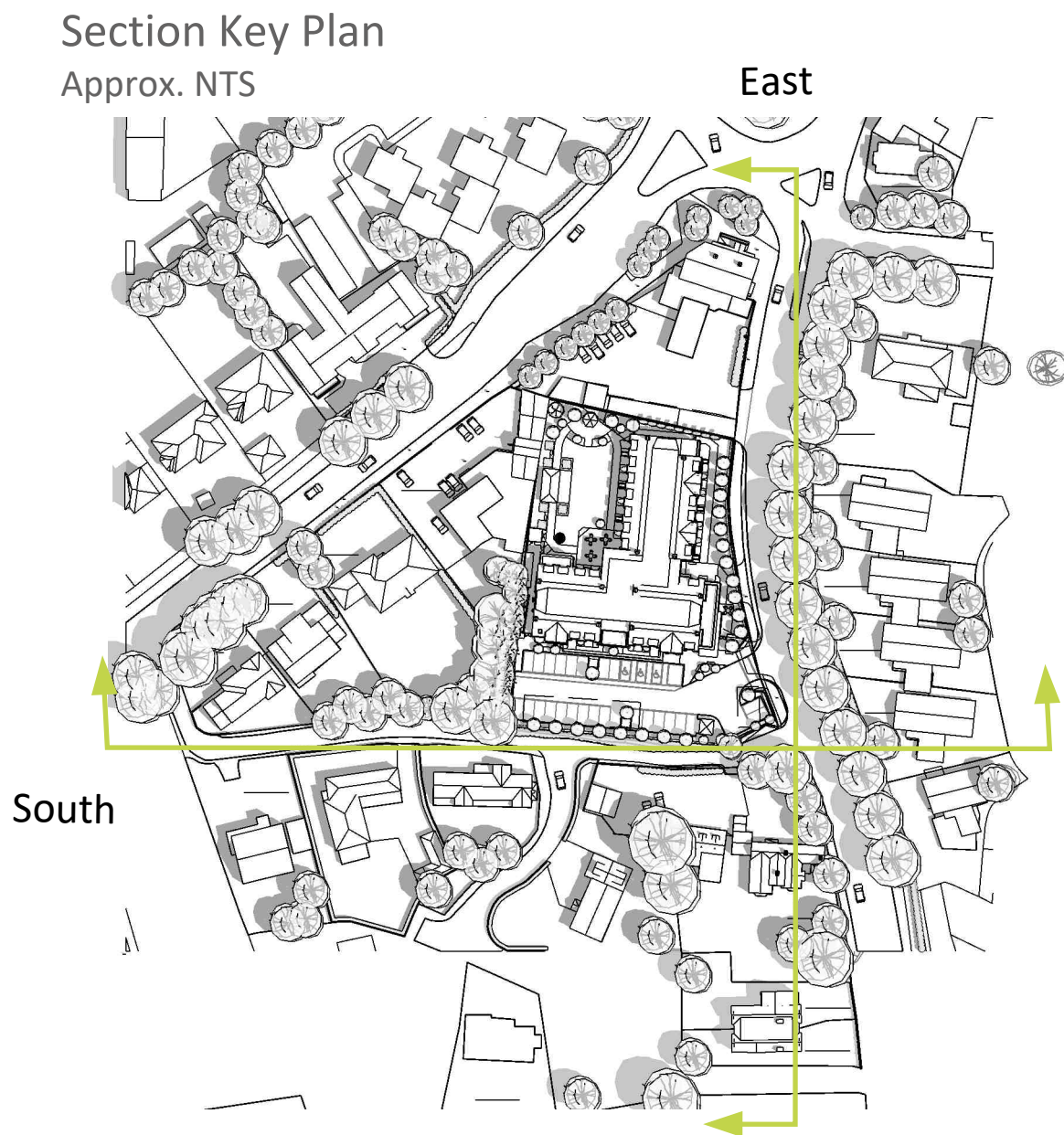
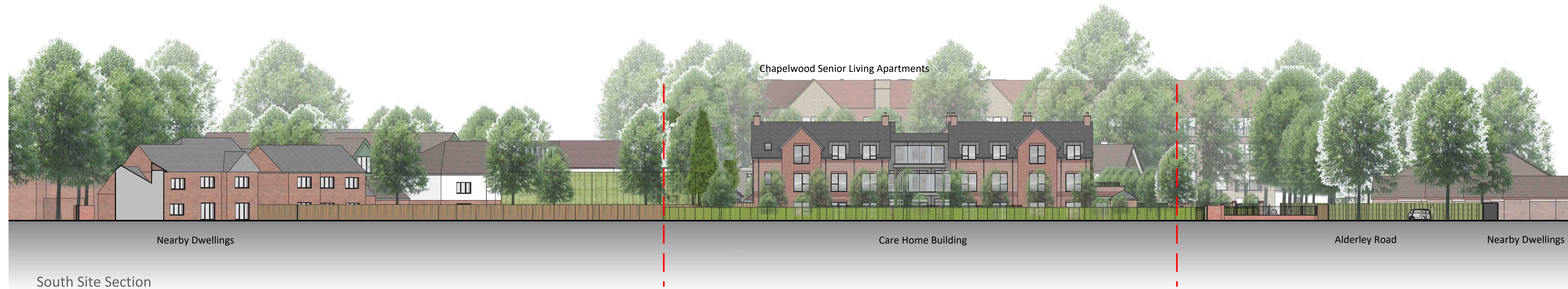
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Site Sections - Sheet


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<b>Drawn By</b> WY	<b>Checked By</b> HPC
<b>Drawing No.</b> M0209 - 123	<b>Revision</b> B

**PLANNING**



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B	11/10/24	Issued for Planning	JO	HPC





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**C Squared architects**

**Client**  
McGoff Group Projects Ltd.

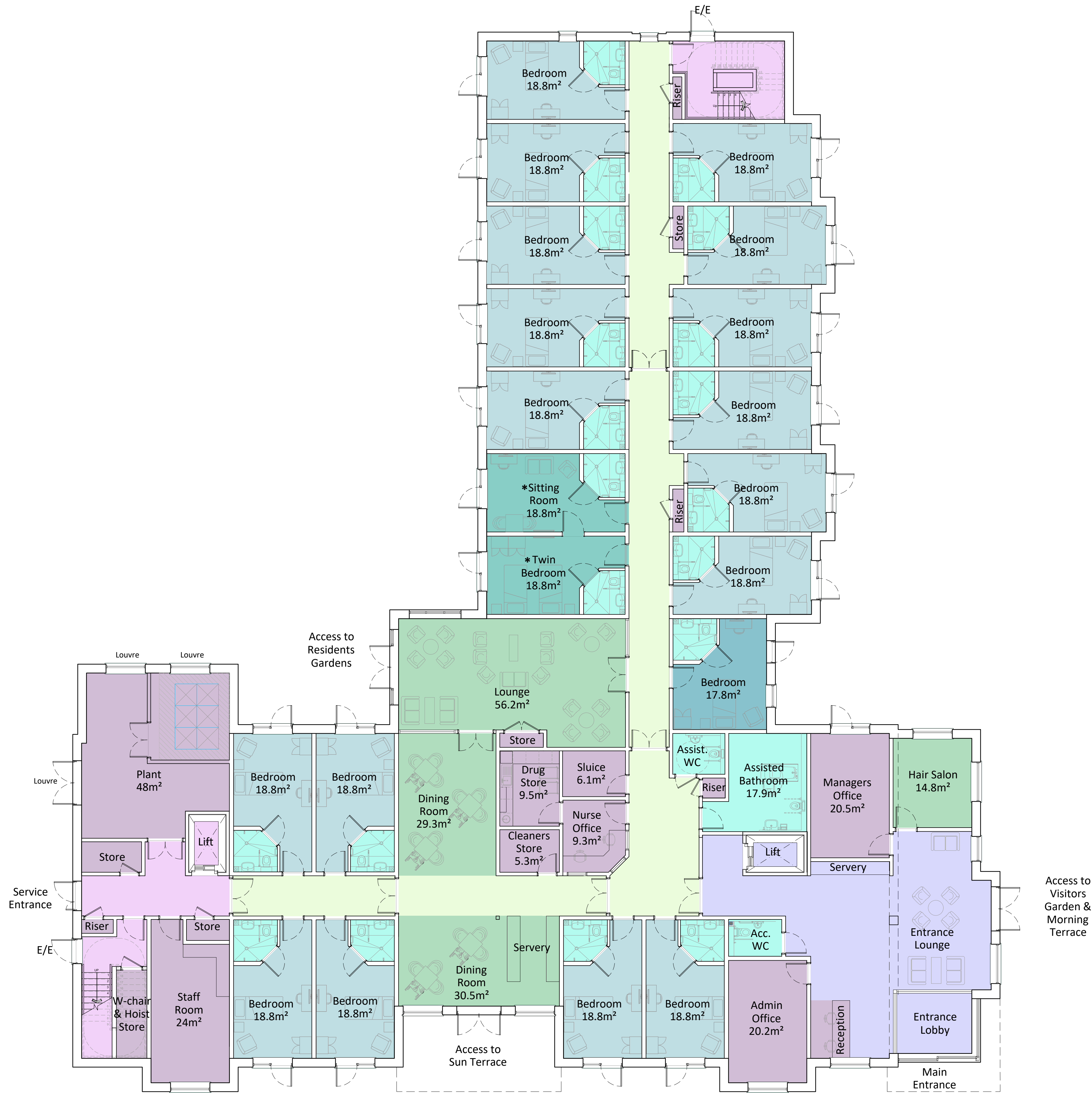
**Project**  
Alderley Road, Wilmslow

**Drawing Title**  
Site Sections - Sheet

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<b>Drawn By</b> WY	<b>Checked By</b> HPC
<b>Drawing No.</b> M0209 - 124	<b>Revision</b> B

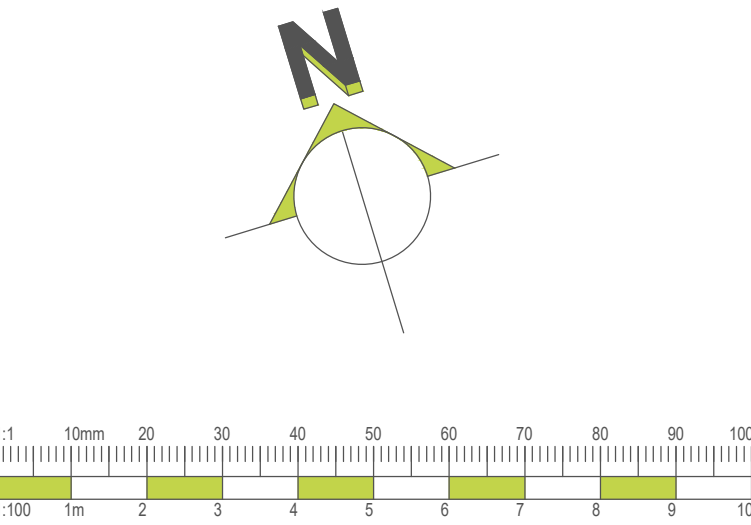
**PLANNING**






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A	24/09/24	Issued for Planning	HPC	HPC
B	11/10/24	Issued for Planning	JO	HPC
C	08/09/25	Bedroom types amended to suit planning committee comments	HPC	HPC

\* Two beds in one room subject to acceptance by the Fire Officer and Building Control





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Client  
McGoff Group Projects Ltd.

Project  
Proposed Care Home  
Alderley Road, Wilmslow

Drawing Title  
Proposed Ground Floor Plan

Scale  
1:200 @ A1

Date  
09/09/24

Drawn by  
HPC

Checked by  
HPC

Drawing No.  
M0209 - 110

Revision  
C

**PLANNING**

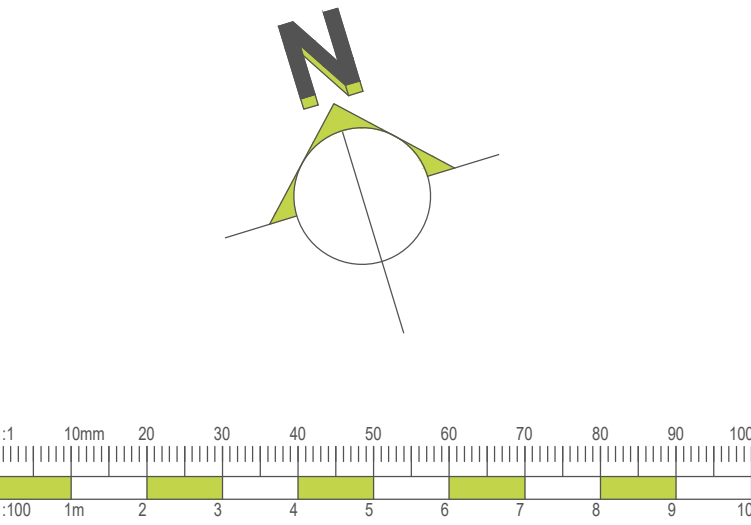
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B	11/10/24	Issued for Planning	JO	HPC
C	08/09/25	Bedroom types amended to suit planning committee comments	HPC	HPC





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**Project**  
Proposed Care Home  
Alderley Road, Wilmslow

**Drawing Title**  
Proposed First Floor Plan

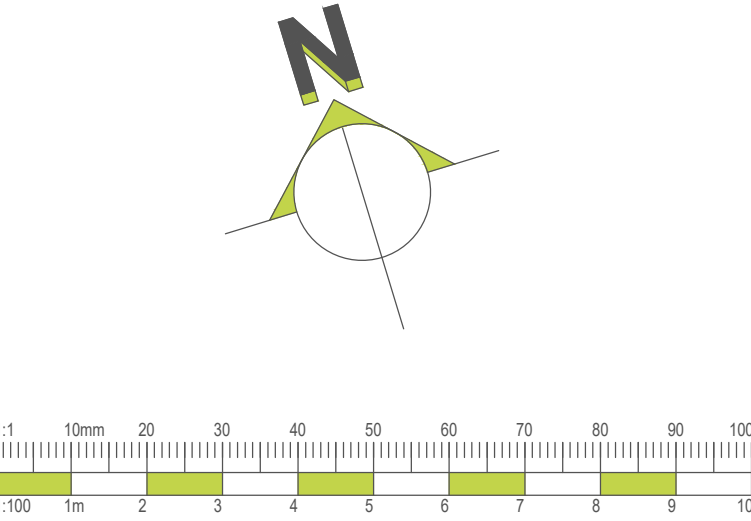
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HPC	HPC
Drawing No.	Revision
M0209 - 111	C

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C	08/09/25	Bedroom types amended to suit planning committee comments	HPC	HPC





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**Project**

Proposed Care Home  
Alderley Road, Wilmslow

**Drawing Title**

Proposed Second Floor Plan

**Scale**  
1:200 @ A1

**Drawn by**  
HPC

**Drawing No.**  
M0209 - 112

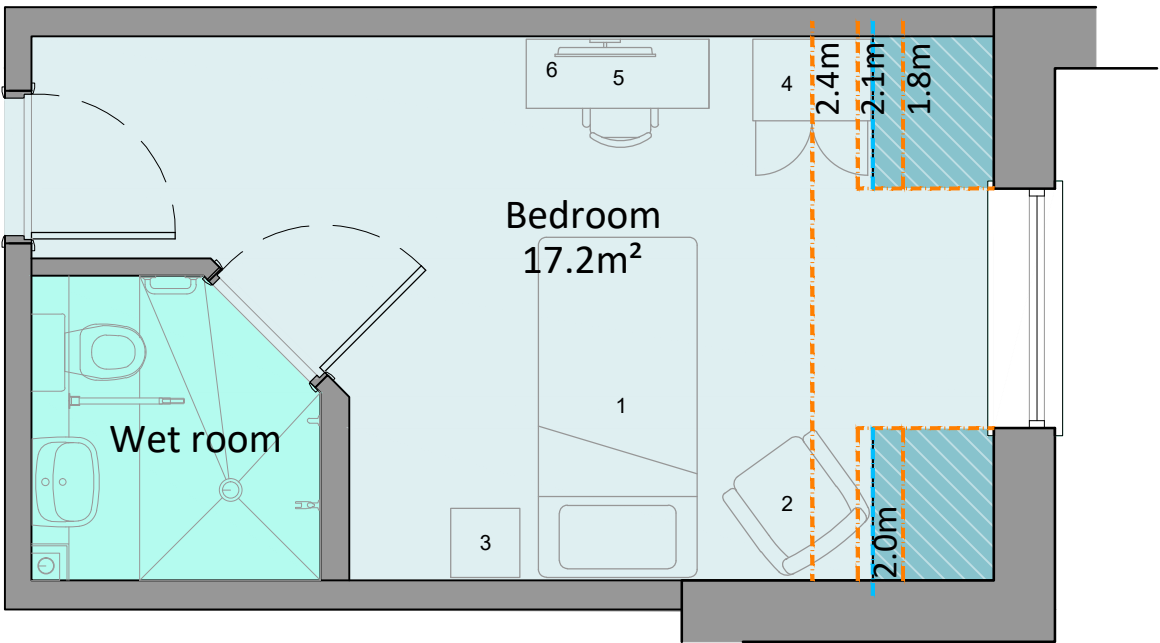
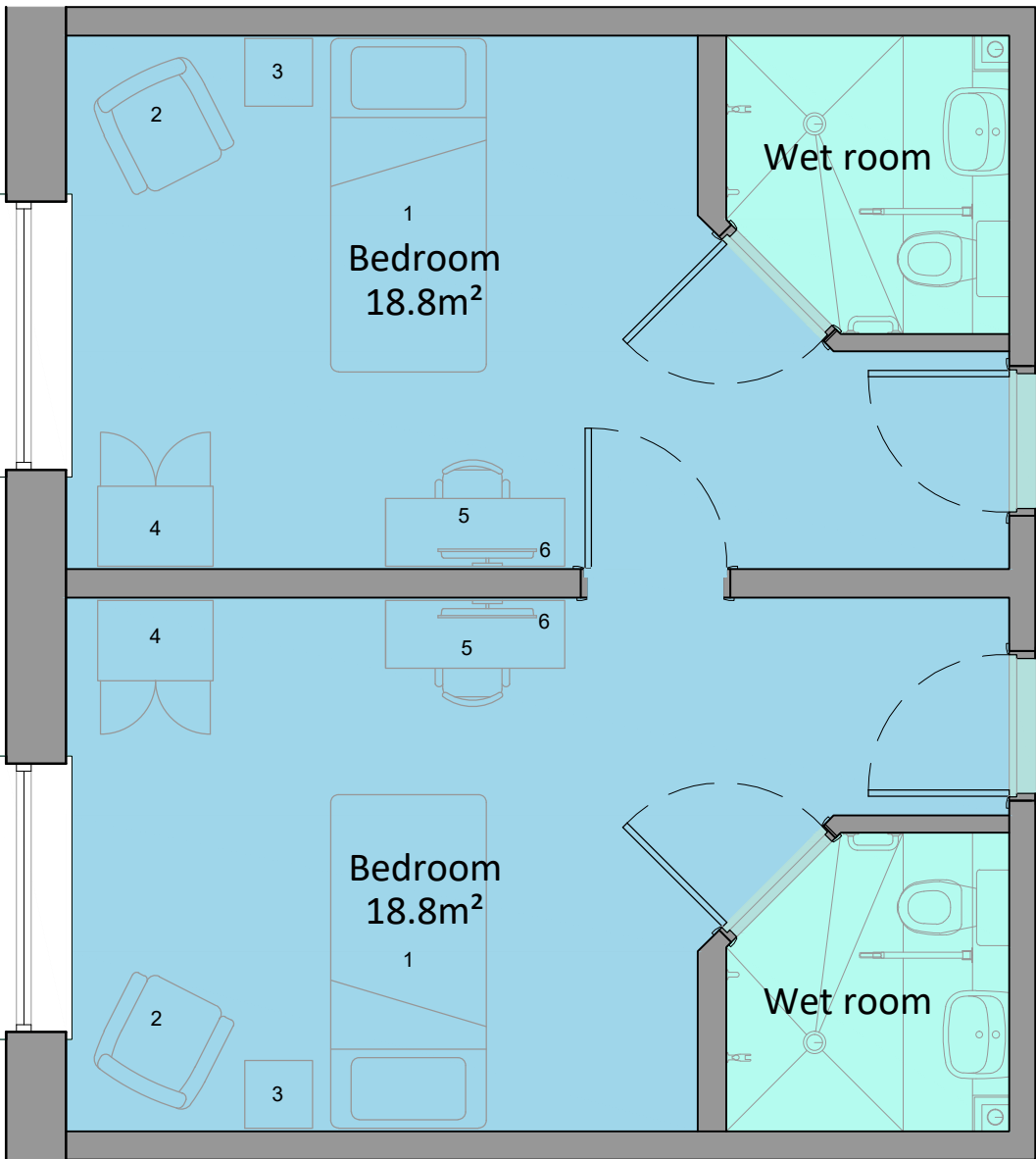
**Date**  
09/09/24

**Checked by**  
HPC

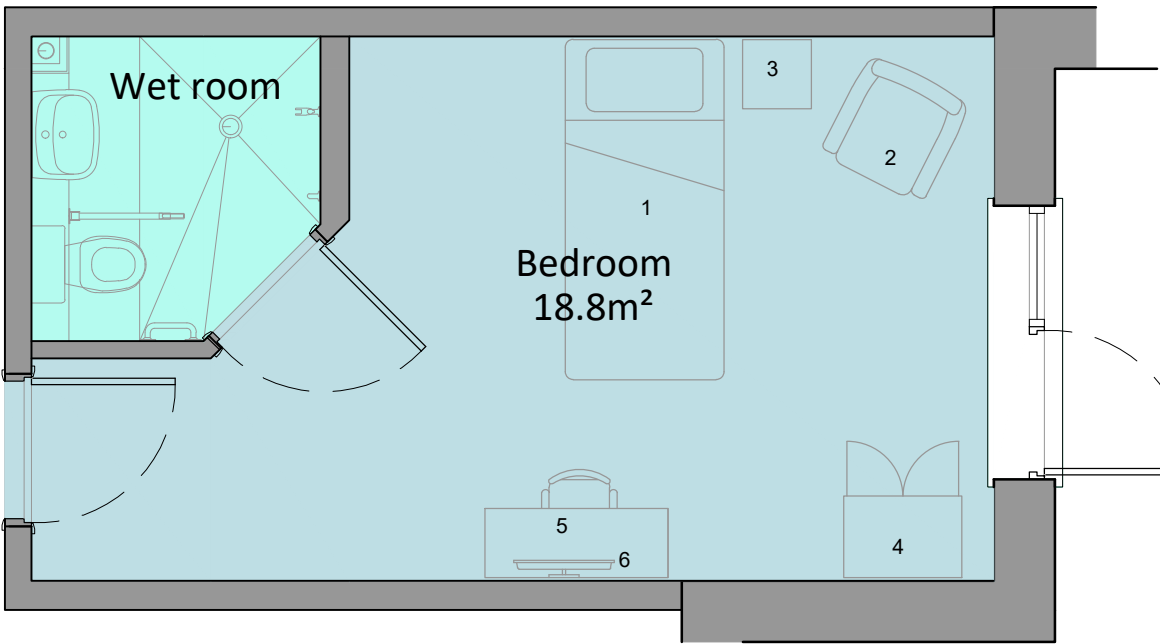
**Revision**  
C

**PLANNING**

Connecting Bedrooms  
Located on ground  
and first floor  
Total = 1-2no.

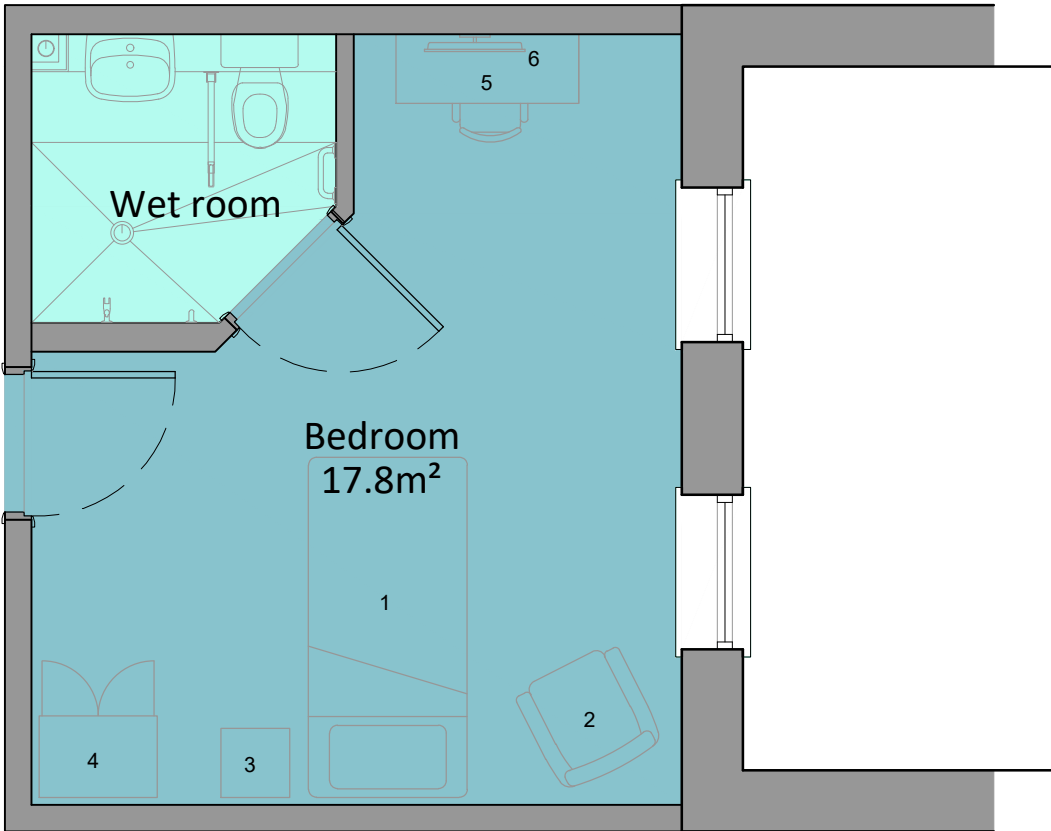


Dormer Bedrooms  
Located on second floor  
Total = 19no.



Typical Bedrooms  
Located on ground,  
first and second floors  
Total = 40no.

Twin Bedroom  
(Subject to Fire Officer  
acceptance of 2 beds  
in a room)  
Located on ground and  
first floor  
Total = 1-2no.



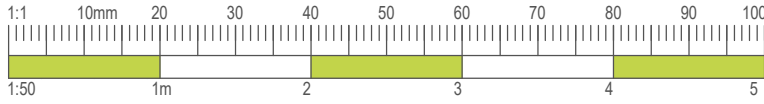
Wider Bedrooms  
Located on ground,  
first and second floors  
Total = 3no.

Notes				
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REV	DATE	REVISION	INITIALS	CHECK
A	08/09/25	Issued for Planning	HPC	HPC

Furniture Legend

1. Specialist Bed
2. Armchair
3. Bedside Table
4. Wardrobe
5. Dressing Table
6. TV
7. Sofa
8. Dining Table
9. Desk

Please Note: Bedroom areas listed are exclusive of en-suite wet rooms and any parts of the room on second floor below 2m in height. All areas are subject to building tolerances.





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The Barns  
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Cheshire  
WA4 4NP

**Telephone**  
01925 357555

**Website**  
csquaredarchitects.co.uk

**Client**  
McGoff Group Projects Ltd.

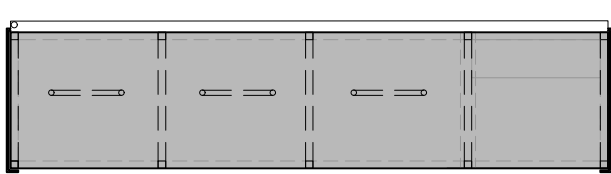
**Project**  
Proposed Care Home  
Alderley Road, Wilmslow

**Drawing Title**  
Bedroom Types Plan

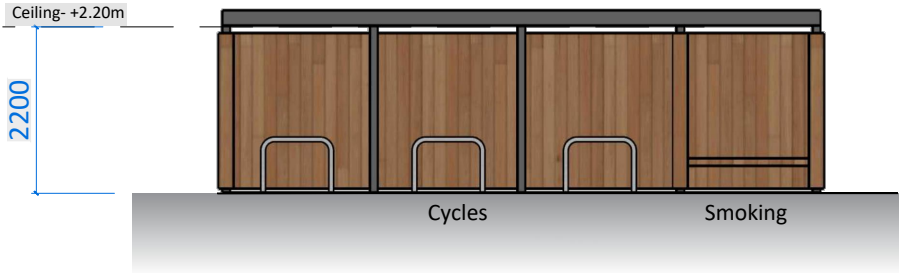
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<b>Drawn by</b> HPC	<b>Checked by</b> HPC
<b>Drawing No.</b> M0209 - 113	<b>Revision</b> A

**PLANNING**

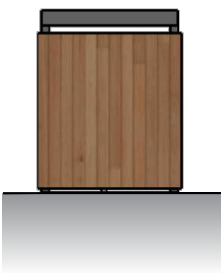
C Squared Architects Ltd.				
Notes				
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REV	DATE	REVISION	INITIALS	CHECK
A	24/09/24	Issued for Planning	WY	HPC



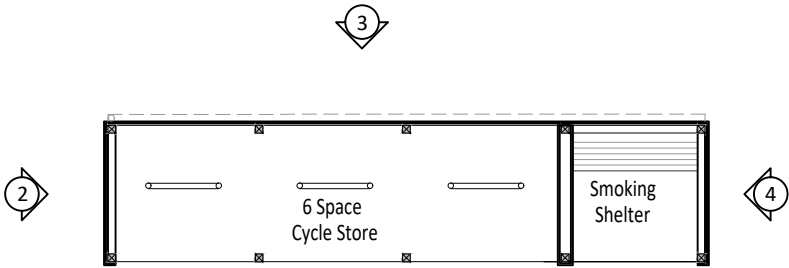
01. Roof Plan



03. Elevation 1



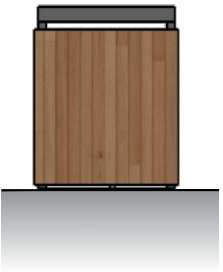
04. Elevation 2



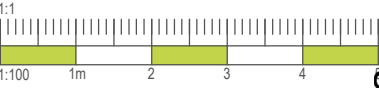
02. Floor Plan



05. Elevation 3



06. Elevation 4





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architects

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**Client**  
McGoff Group Porjects Ltd.

**Project**  
Proposed Care Home  
Alderley Road, Wilmslow

**Drawing Title**  
Proposed Cycle Store

**Scale**  
1:100 @ A3

**Date**  
23/09/24

**Drawn by**  
WY

**Checked by**  
HPC

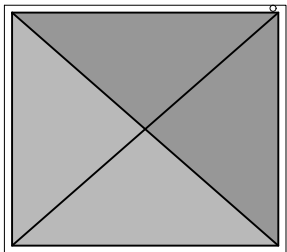
**Drawing No.**  
M0209- 130

**Revision**  
A

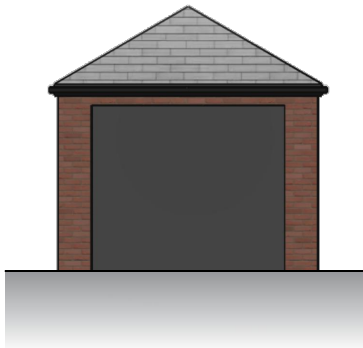
**PLANNING**



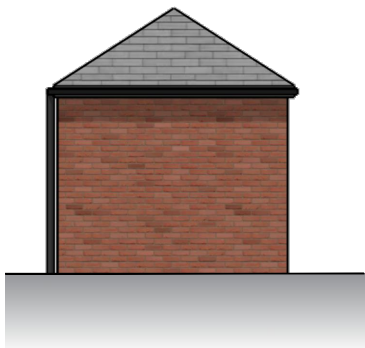
01. Roof Plan



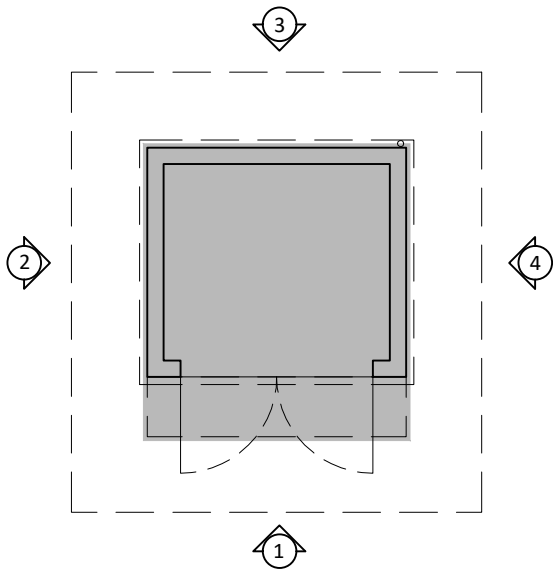
03. Elevation 1



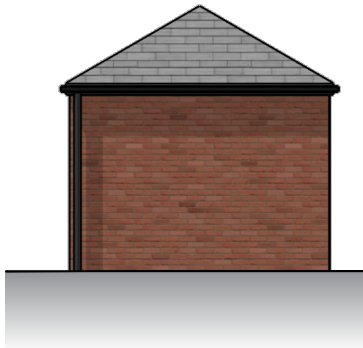
04. Elevation 2



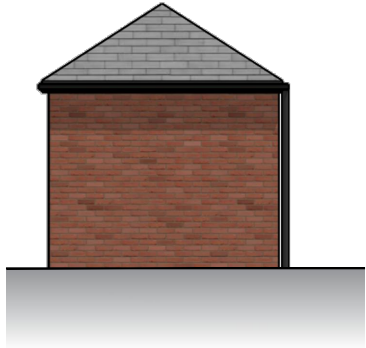
02. Floor Plan



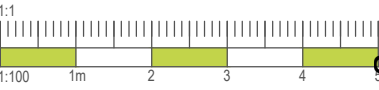
05. Elevation 3



06. Elevation 4



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Notes				
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REV	DATE	REVISION	INITIALS	CHECK
A	24/09/24	Issued for Planning	JO	HPC
B	11/10/24	Issued for Planning	JO	HPC





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**Client**  
McGoff Group Projects Ltd.

**Project**  
Proposed Care Home  
Alderley Road, Wilmslow

**Drawing Title**  
Proposed Sub-Station

**Scale**  
1:100 @ A3

**Date**  
24/09/24

**Drawn by**  
JO

**Checked by**  
HPC

**Drawing No.**  
M0209- 140

**Revision**  
B

**PLANNING**

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25/0676/FUL

St Georges Street Baptist  
Church, St Georges Street,  
Macclesfield,  
SK11 6TG

## Location Plan

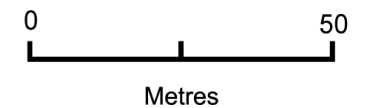
Site Address: St Georges Street Baptist Church, St Georges Street, Macclesfield, SK11 6TG

Date Produced: 19-Feb-2025

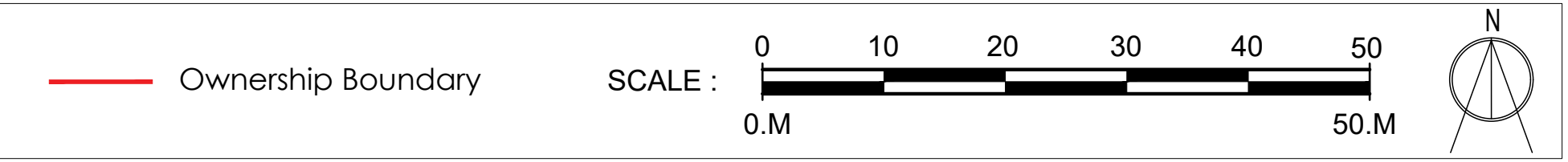
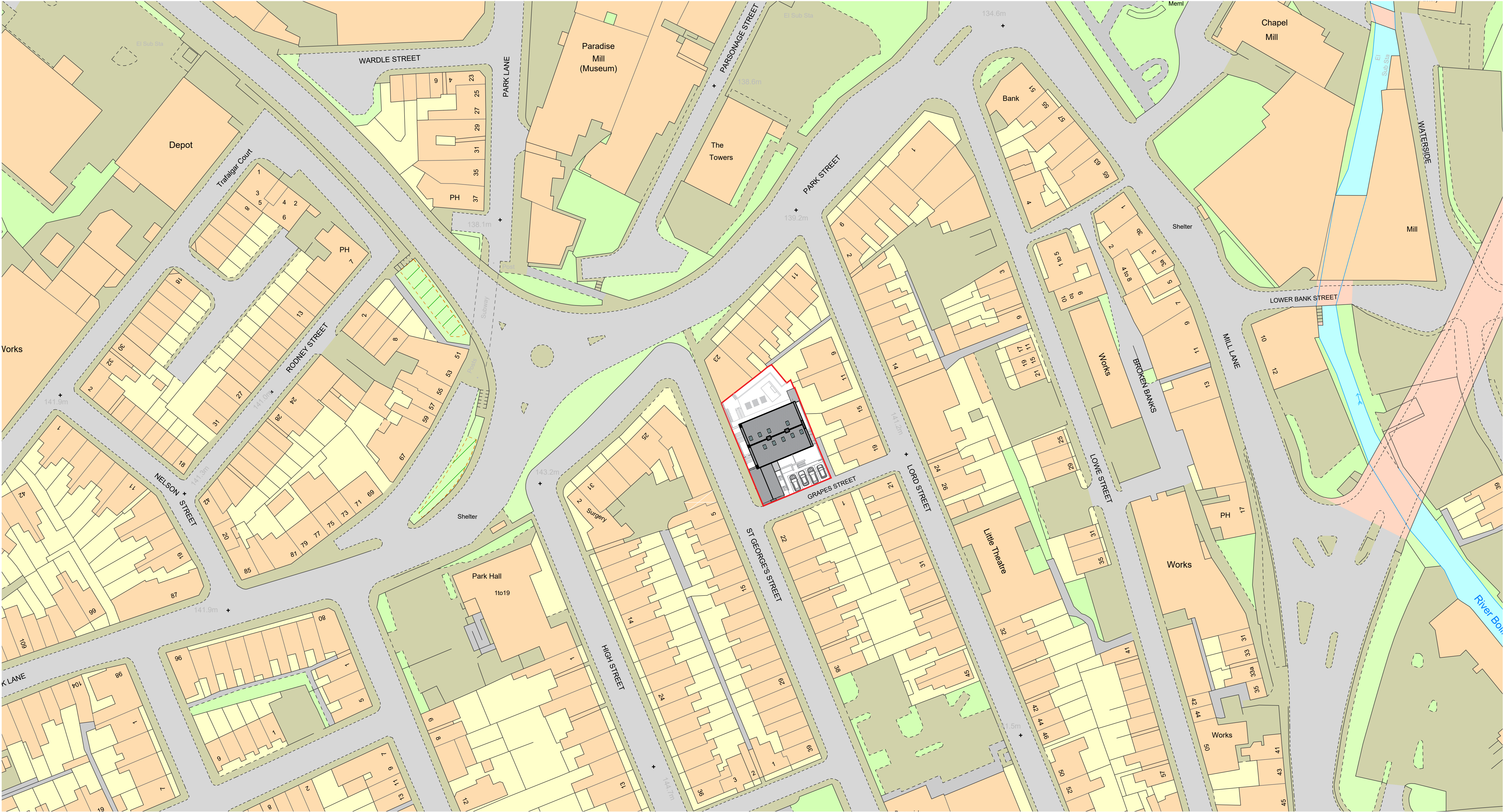
Scale: 1:1250 @A4



Planning Portal Reference: PP-13785889v1







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revisions

REV	DATE	DRAWN BY	APPR. BY	NOTES

client:

ELIVI Property Group

project:

St Georges Baptist Church

status:

Stage 3

revision:

title:

Proposed Block Plan

drawn by:

TJF

approved by:

TJF

date:

23.01.25

job no:

107

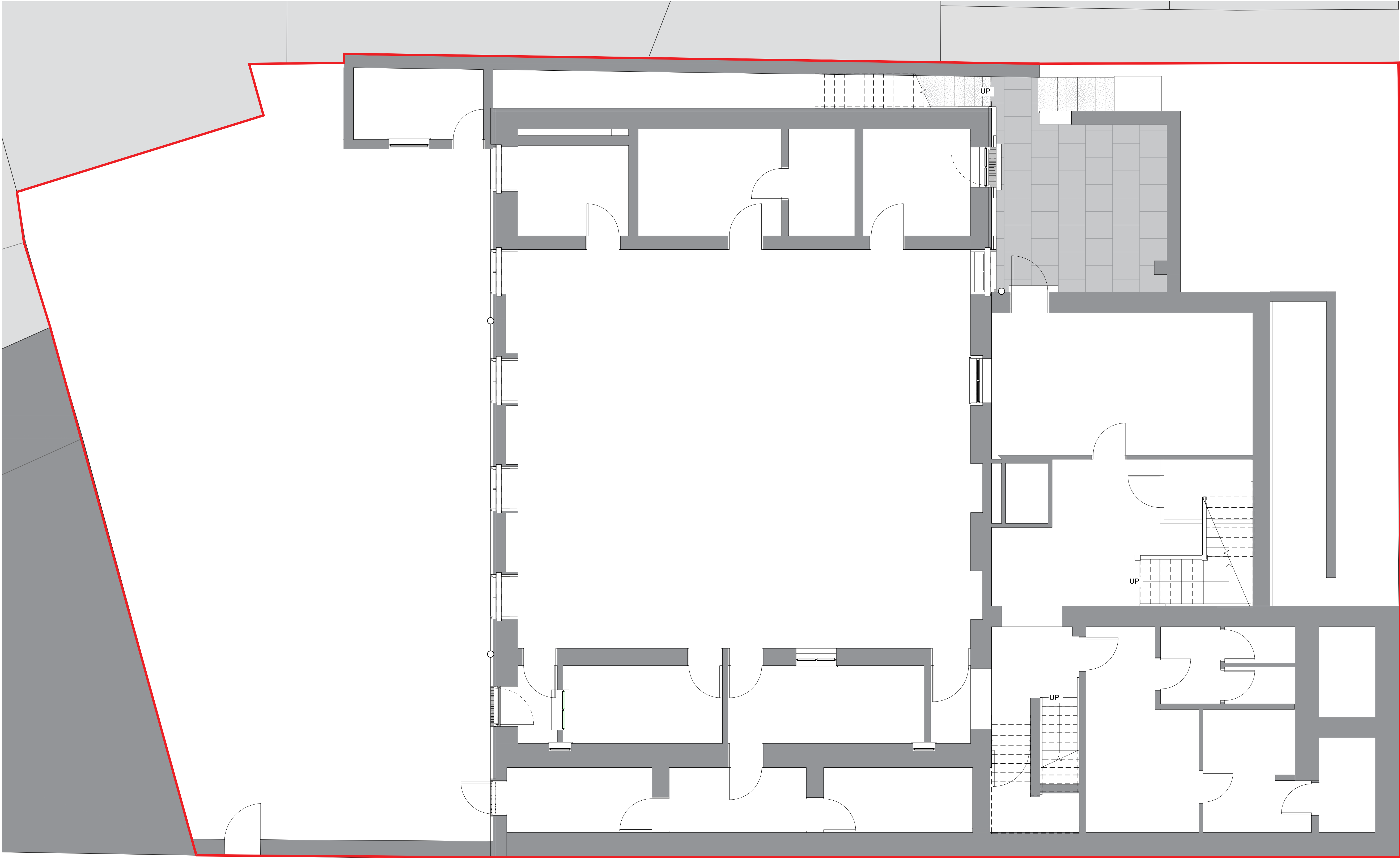
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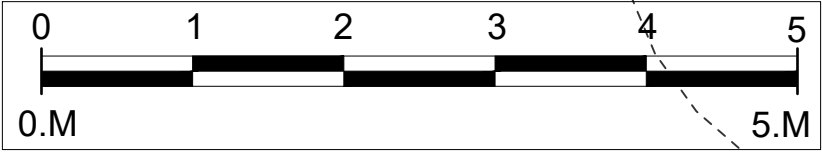
drawing no:

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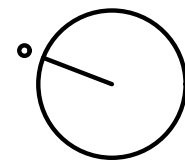


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revisions

REV	DATE	DRAWN BY	APPR. BY	NOTES

client:

ELIVI Property Group

project:

St Georges Baptist Church

status:

S2 - Concept

revision:

title:

Existing GA Plan  
Lower Ground Floor

drawn by:

TJF

approved by:

TJF

date:

16.12.24

job no:

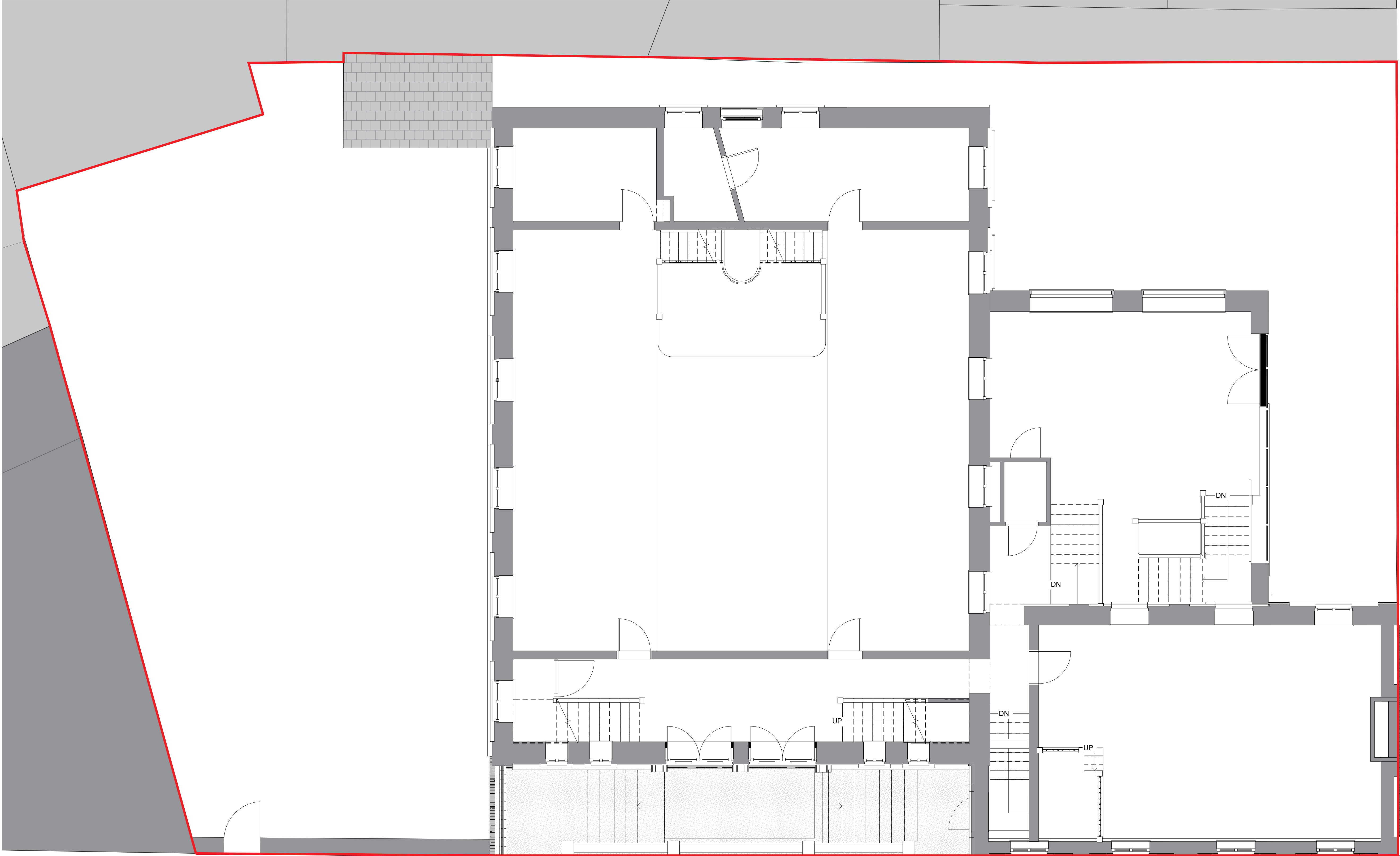
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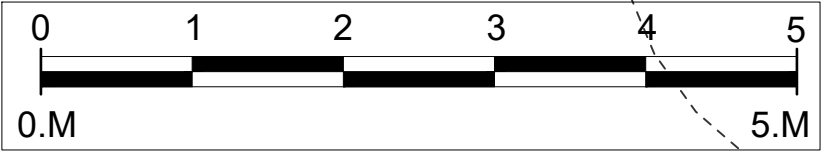
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drawing no:

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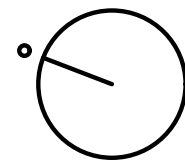


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revisions

REV	DATE	DRAWN BY	APPR. BY	NOTES

client:

ELIVI Property Group

project:

St Georges Baptist Church

status:

STAGE 3

revision:

title:

Existing GA Plan  
Ground Floor

drawn by:

TJF

approved by:

TJF

date:

16.12.24

job no:

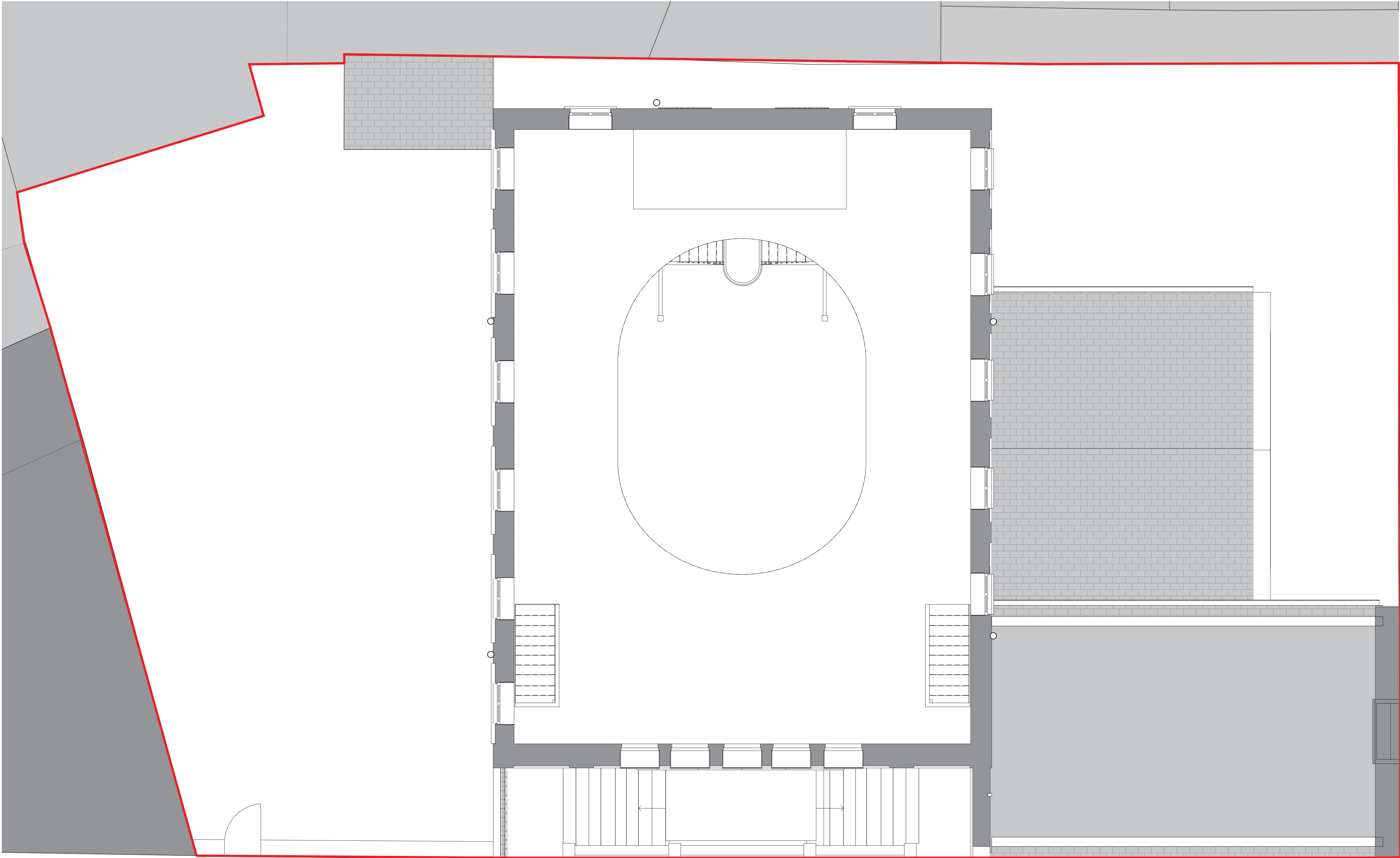
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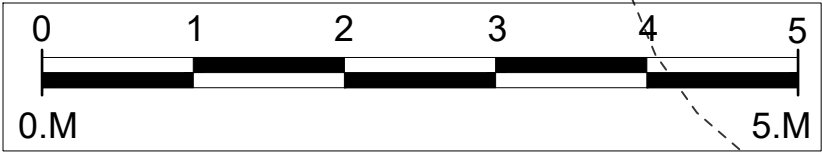
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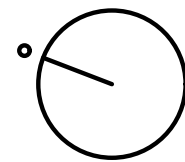


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revisions

REV	DATE	DRAWN BY	APPR. BY	NOTES

client:

ELIVI Property Group

project:

St Georges Baptist Church

status:

STAGE 3

revision:

title:

Existing GA Plan  
First Floor

drawn by:

TJF

approved by:

TJF

date:

16.12.24

job no:

107

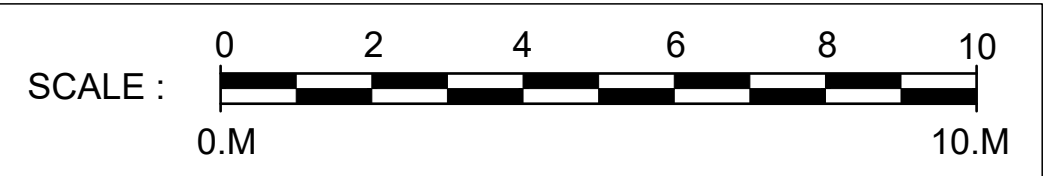
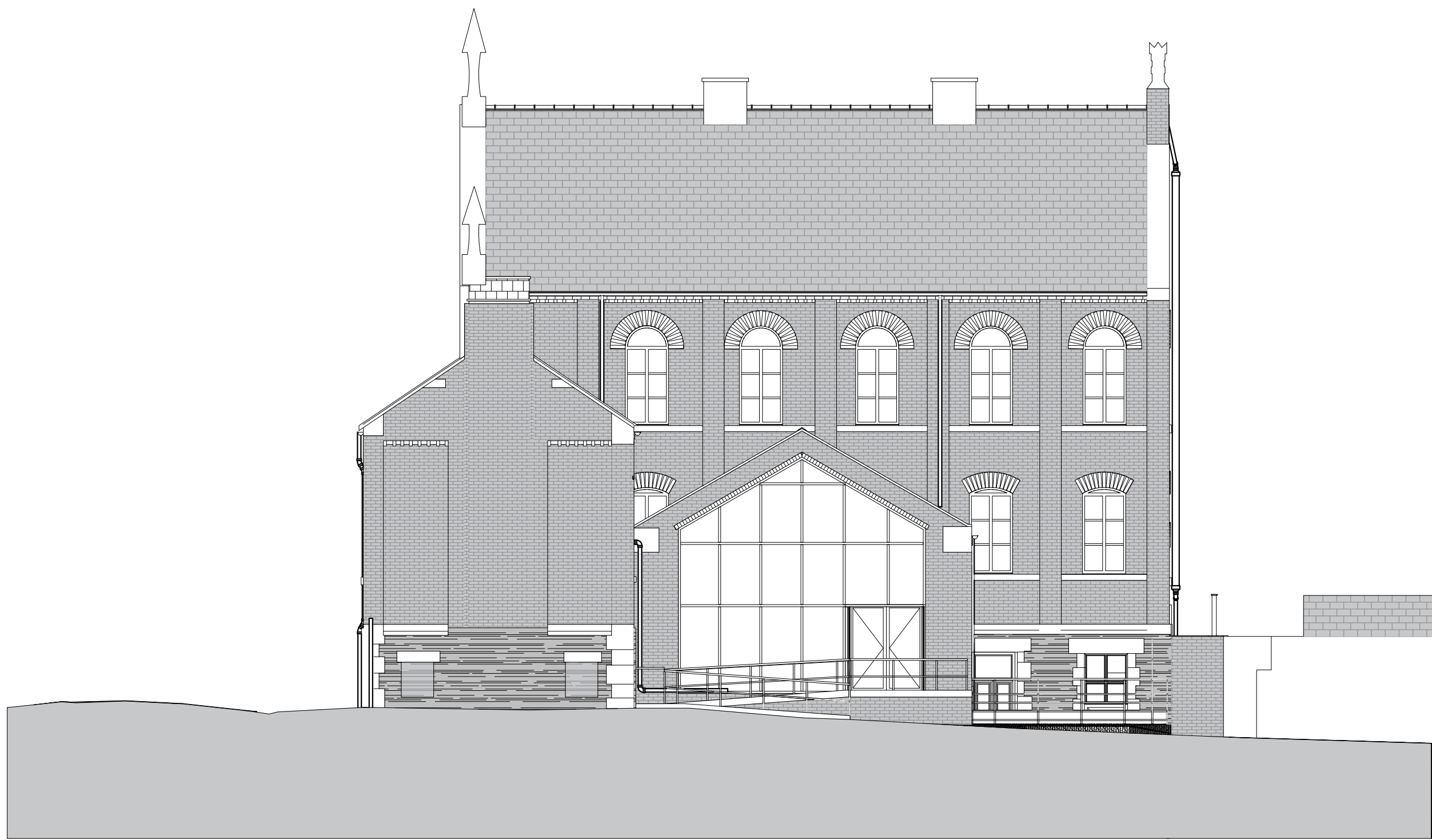
scale:

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drawing no:

005





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revisions

REV	DATE	DRAWN BY	APPR. BY	NOTES
-----	------	----------	----------	-------

client:

Wynne Developments Ltd

project:

St Georges Baptist Church

status:

STAGE 3

revision:

title:

Existing Elevations

drawn by:

TJF

approved by:

TJF

date:

16.12.24

job no:

107

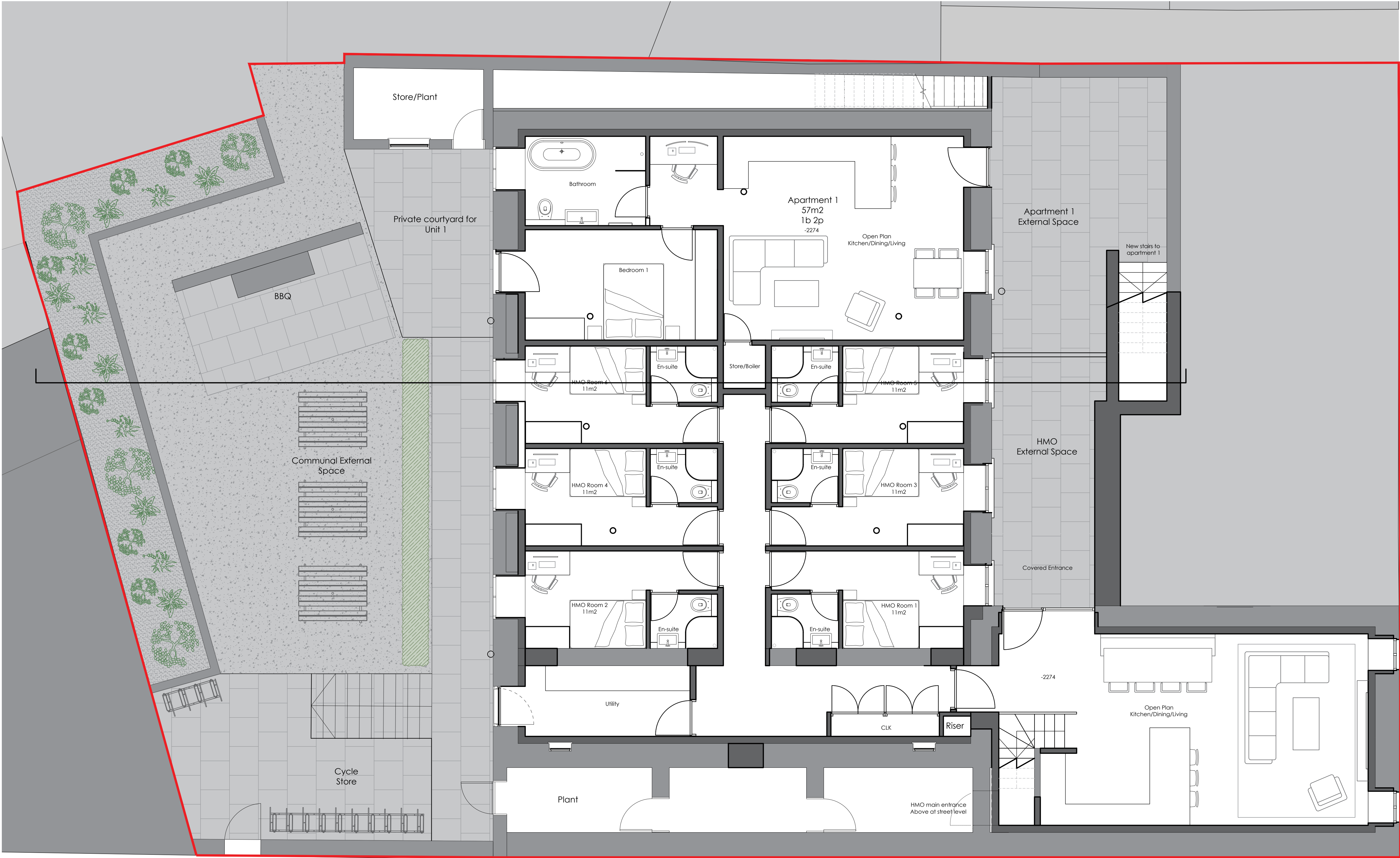
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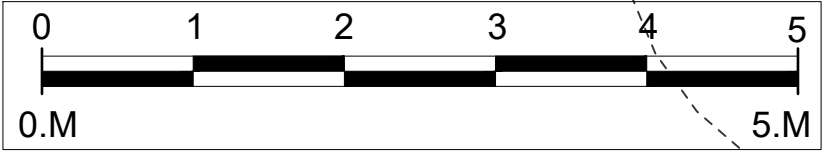
drawing no:

007





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revisions				
REV	DATE	DRAWN BY	APPR. BY	NOTES
1	27.05.25	TJF	TJF	FFL added.
2	04.07.25	TJF	TJF	Columns retained/garden updated.

client:  
**ELIVI Property Group**

project:  
**St Georges Baptist Church**

status: **Stage 3**

revision: **2**

title:  
**Proposed GA Floor Plan  
Lower Ground Floor**

drawn by: **TJF**

approved by: **TJF**

date: **19.12.24**

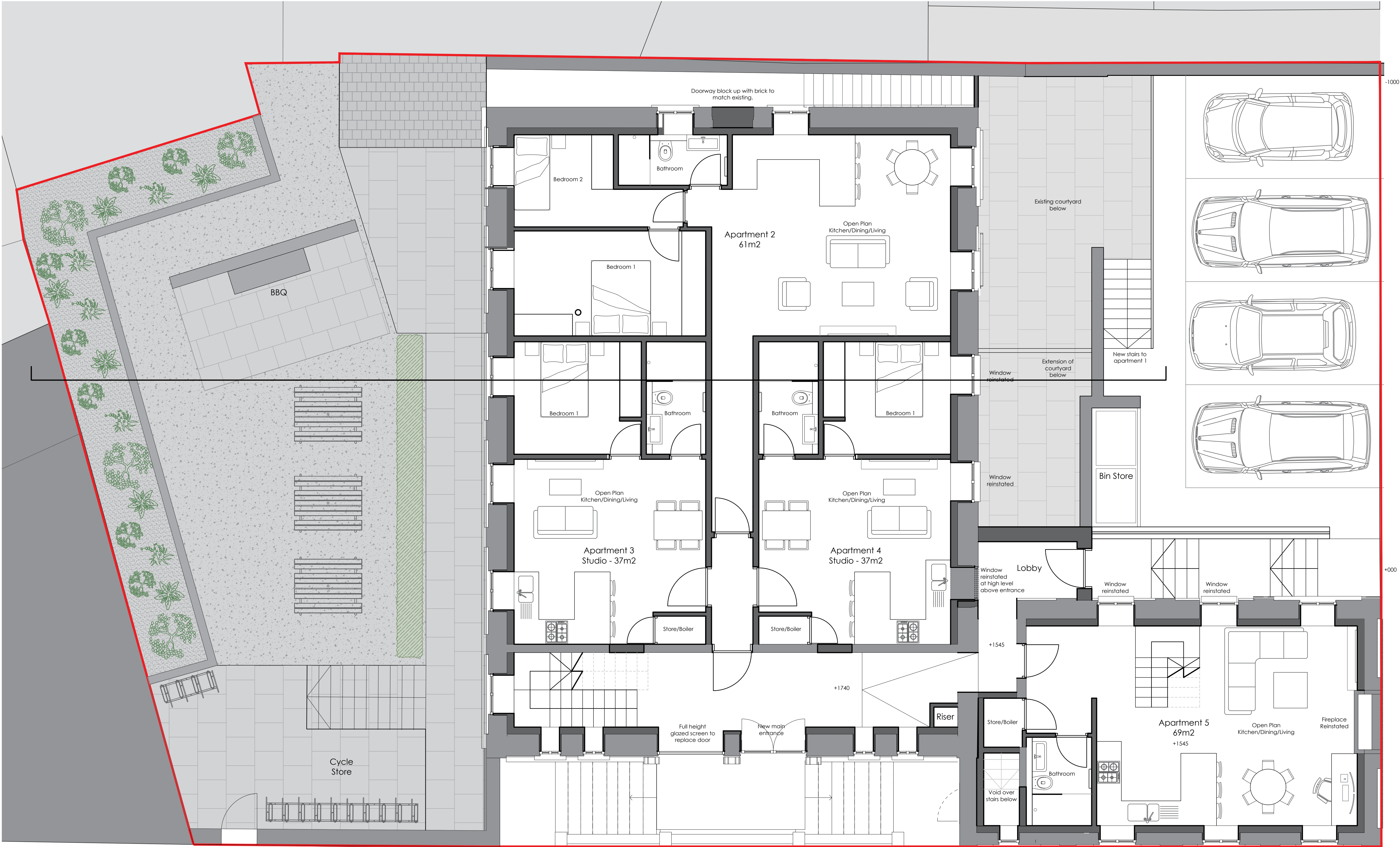
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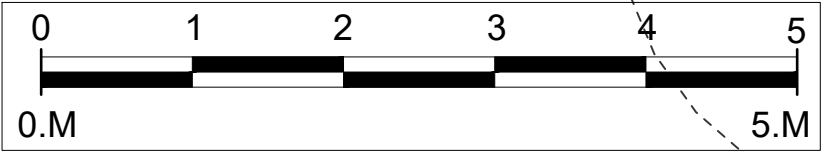
drawing no:

**021**





GRAPES STREET

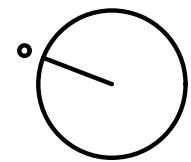


Paint to be removed from stone work and railings before being refurbished. Railings to be repainted in black.



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revisions

REV	DATE	DRAWN BY	APPR. BY	NOTES
1	27.05.25	TJF	TJF	FFL added.
2	07.07.25	TJF	TJF	Units 3 & 4 areas updated.
3	28.07.25	TJF	TJF	Apartment 2 areas updated.

client:

ELIVI Property Group

project:

St Georges Baptist Church

status:

Stage 3

revision:

3

title:

Proposed GA Floor Plan  
Ground Floor

drawn by:

TJF

approved by:

TJF

date:

19.12.24

job no:

107

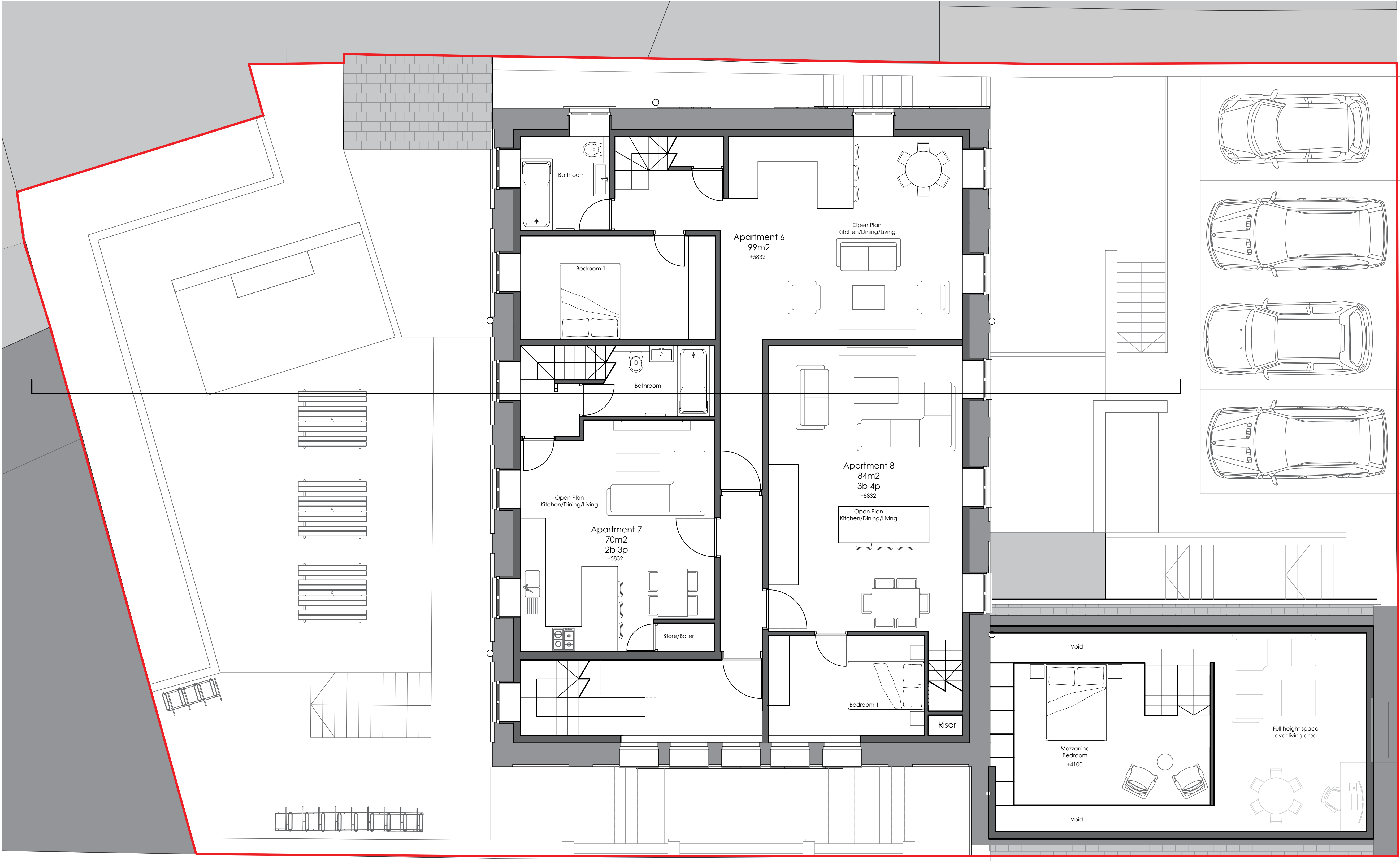
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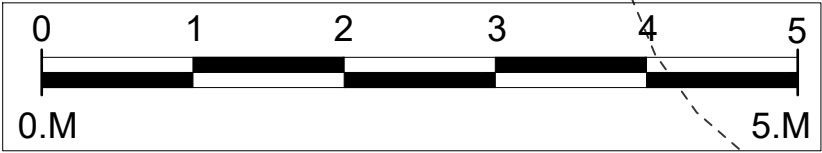
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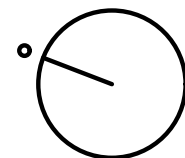


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revisions

REV	DATE	DRAWN BY	APPR. BY	NOTES
1	27.05.25	TJF	TJF	FFL added.
2	07.07.25	TJF	TJF	Bedroom Areas/occupants updated.

client:

ELIVI Property Group

project:

St Georges Baptist Church

status:

Stage 3

revision:

title:

Proposed GA Floor Plan  
First Floor

drawn by:

TJF

approved by:

TJF

date:

19.12.24

job no:

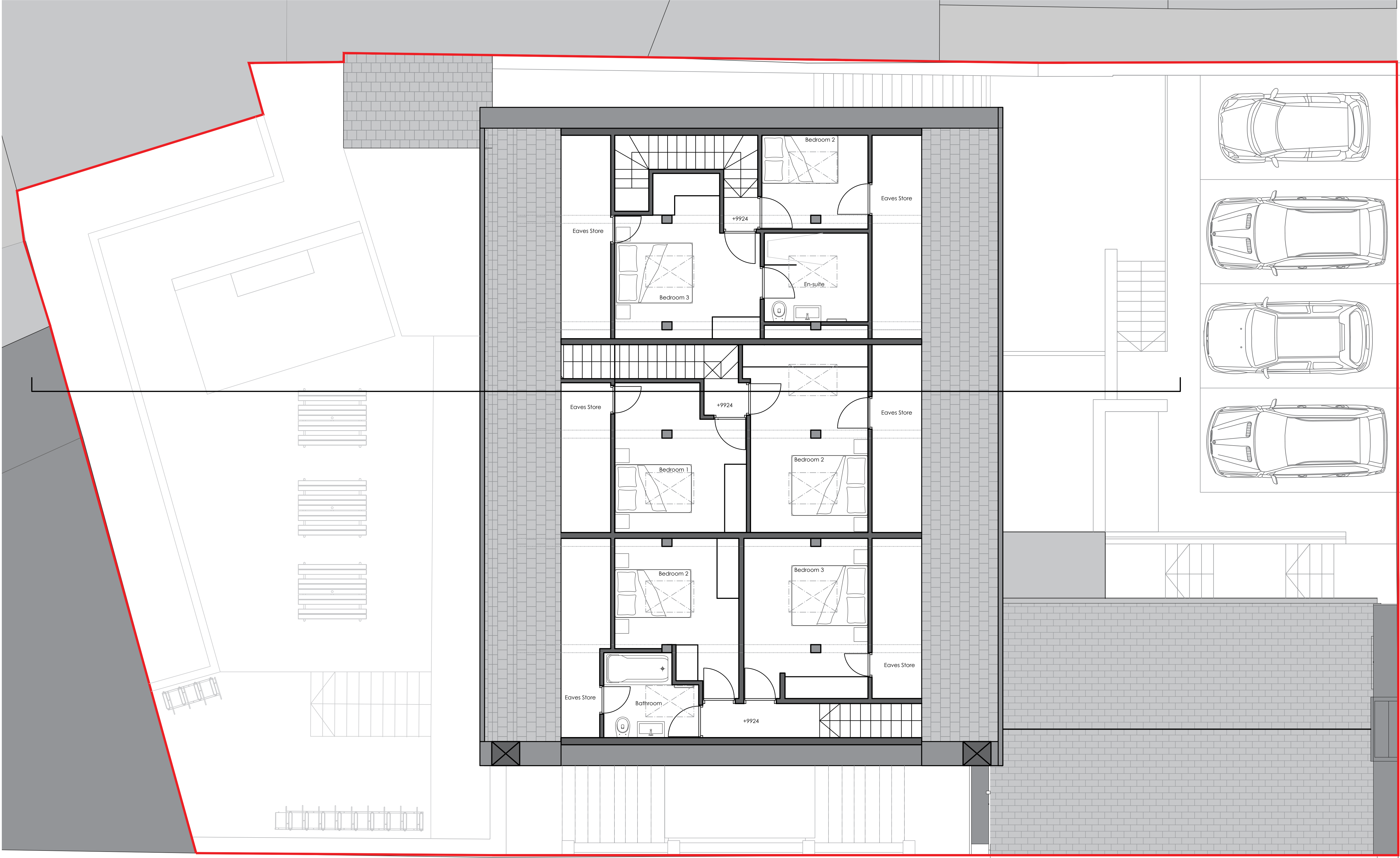
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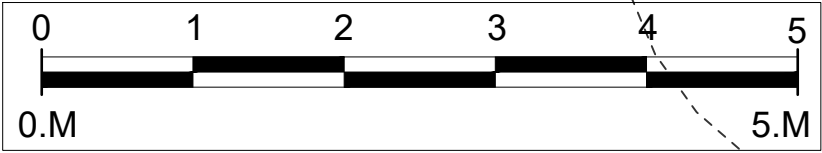
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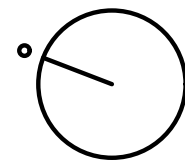


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revisions

REV	DATE	DRAWN BY	APPR. BY	NOTES
1	27.05.25	TJF	TJF	FFL added.
2	07.07.25	TJF	TJF	Single beds added as per LA comments.

client:

ELIVI Property Group

project:

St Georges Baptist Church

status:

Stage 3

revision:

2

title:

Proposed GA Floor Plan  
Second Floor/Mezzanine

drawn by:

TJF

approved by:

TJF

date:

19.12.24

job no:

107

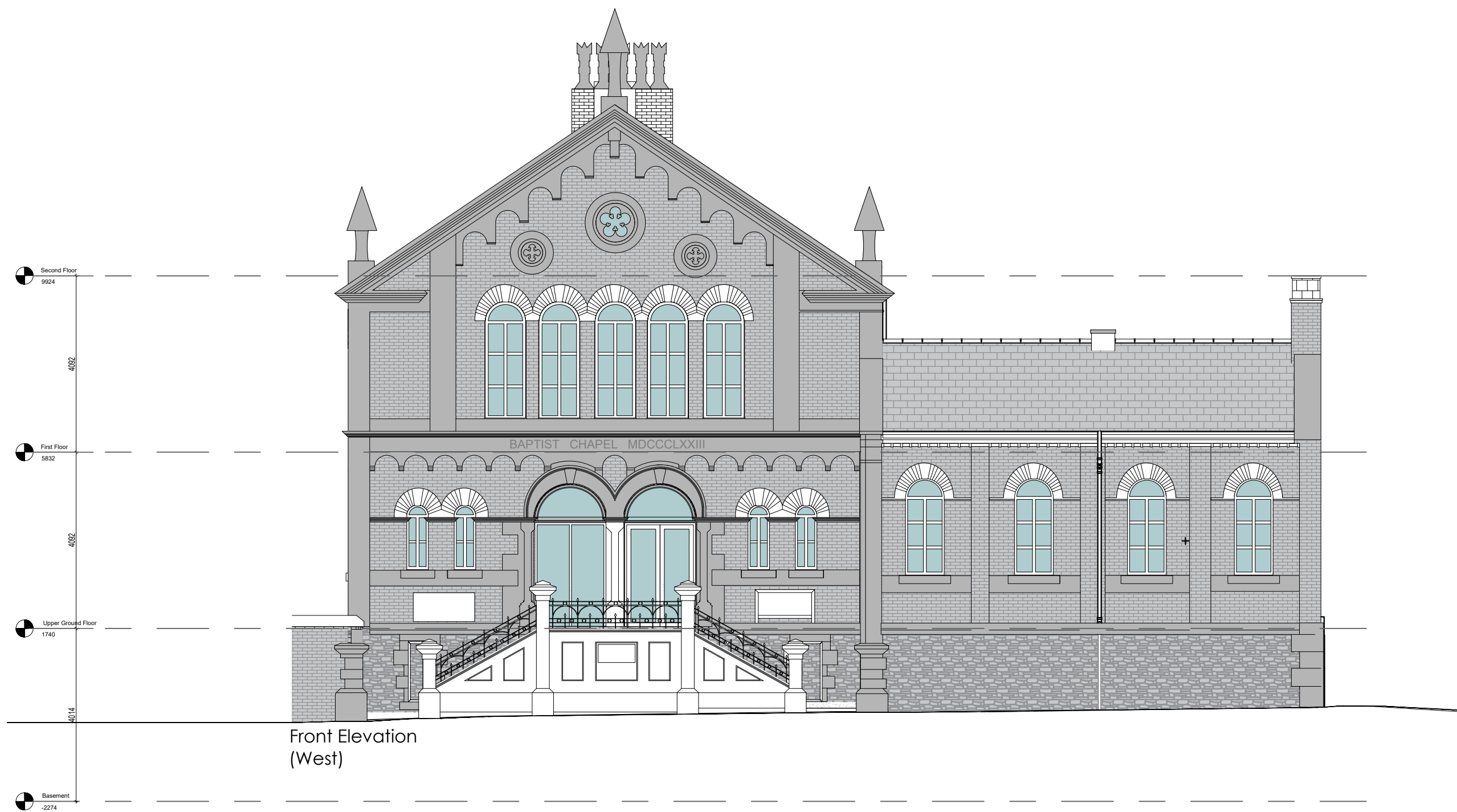
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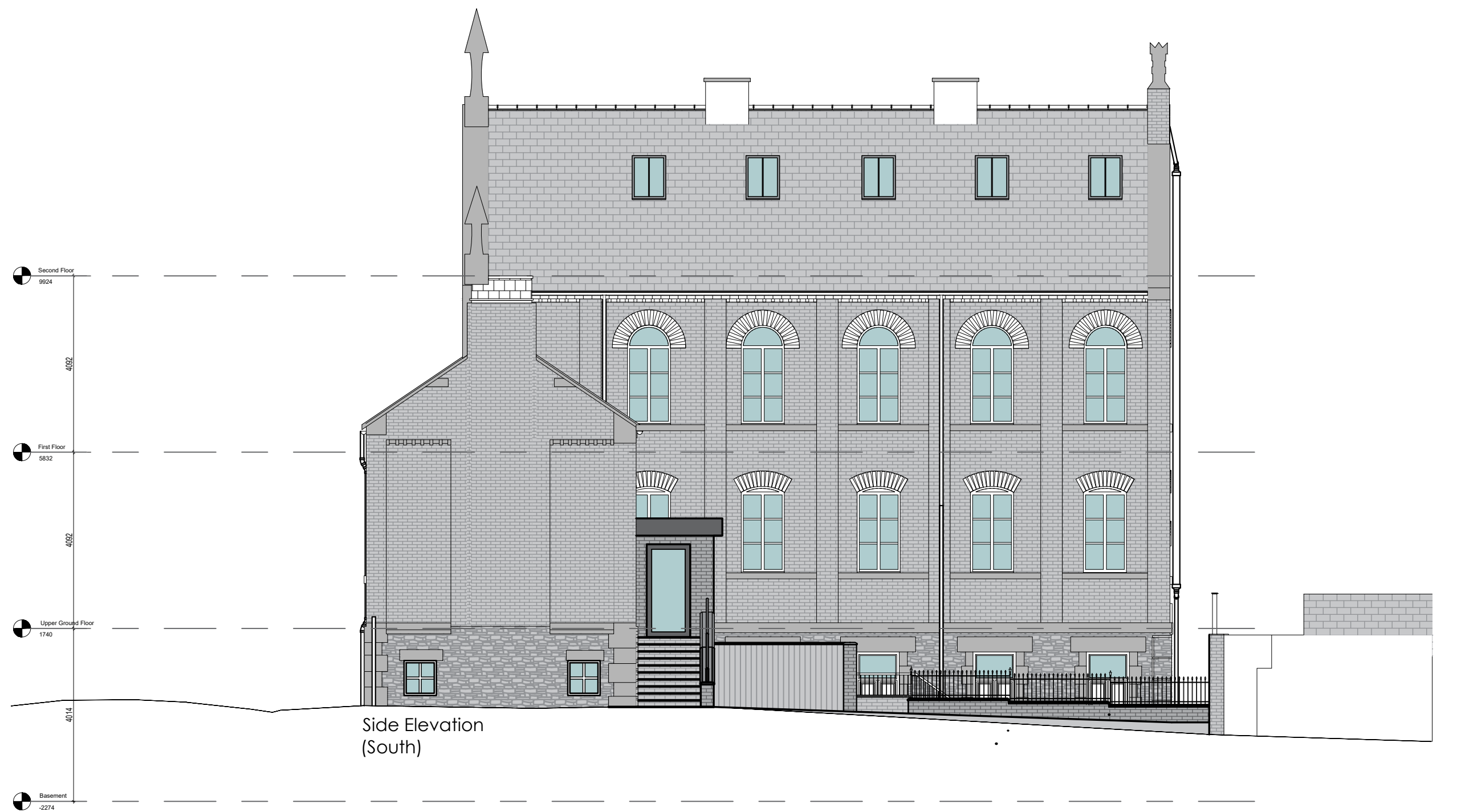
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024





Front Elevation  
(West)



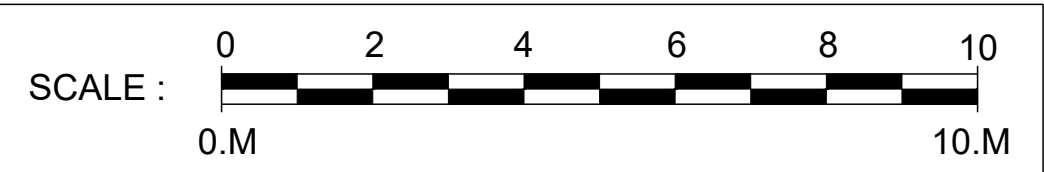
Side Elevation  
(South)



Rear Elevation  
(East)



Side Elevation  
(North)



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#### notes

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3. All dimensions are in millimetres unless noted otherwise.
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6. This drawing is to be read in conjunction with all relevant engineers and consultants drawings and specifications.

#### revisions

REV	DATE	DRAWN BY	APPR. BY	NOTES
1	07.07.25	TJF	TJF	Levels added.

#### client:

ELIVI Property Group

#### project:

St Georges Baptist Church

#### status:

STAGE 3

#### revision:

1

#### title:

Proposed Elevations

#### drawn by:

TJF

#### approved by:

TJF

#### date:

16.12.24

#### job no:

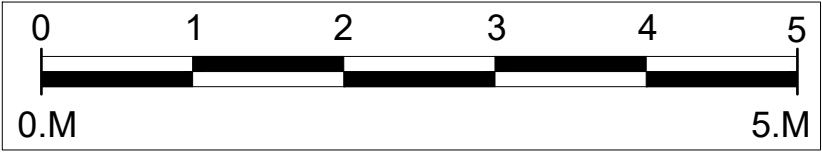
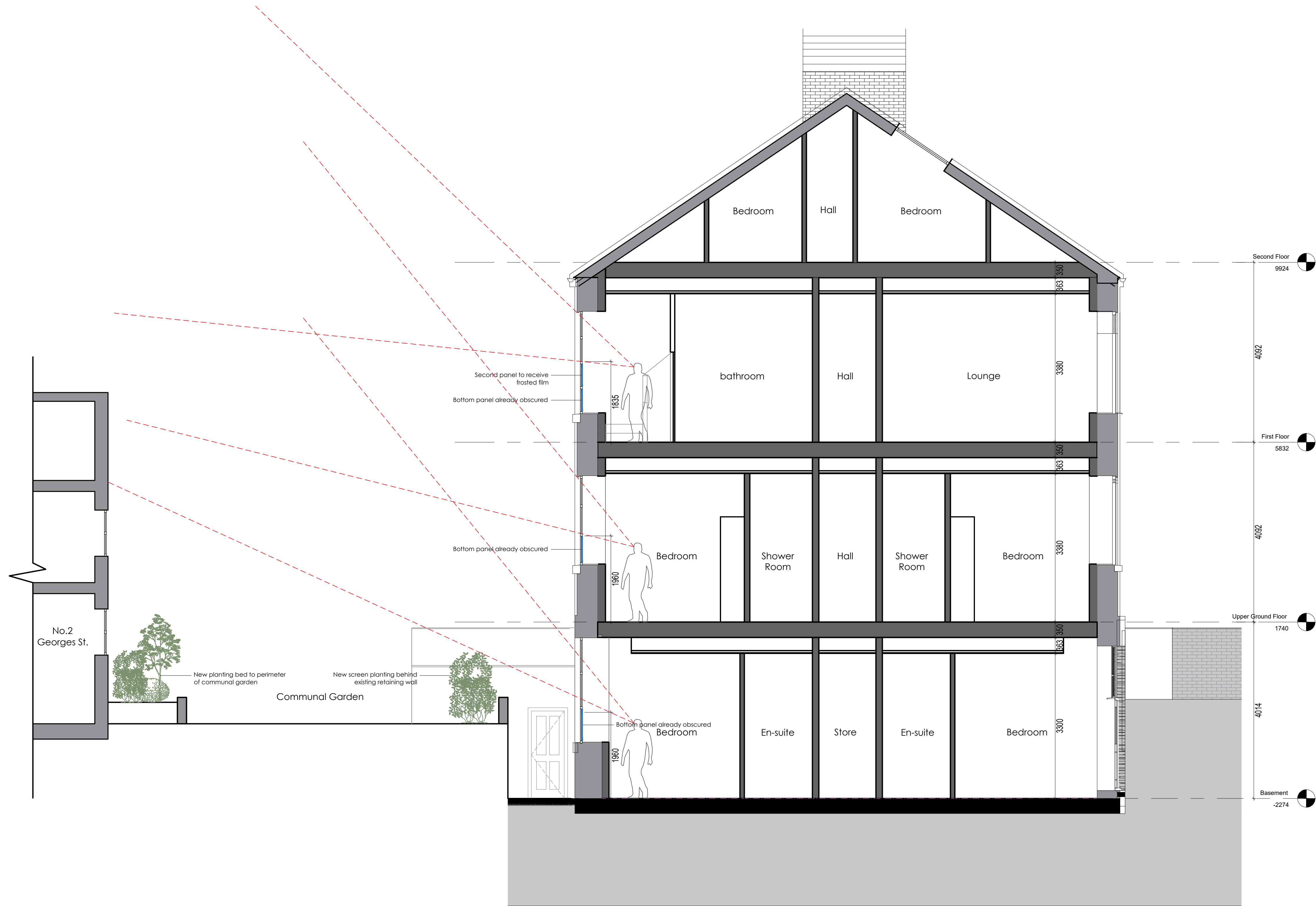
107

#### scale:

1:100@A1L

#### drawing no:

026



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Tom@Tom-Ford-Architecture.com  
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notes

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6. This drawing is to be read in conjunction with all relevant engineers and consultants drawings and specifications.

revisions

REV	DATE	DRAWN BY	APPR. BY	NOTES

client:

ELIVI Property Group

project:

St Georges Baptist Church

status:

Stage 3

revision:

title:

Proposed Section

drawn by:

TJF

approved by:

TJF

date:

19.12.24

job no:

107

scale:

1:50@A1L

drawing no:

200



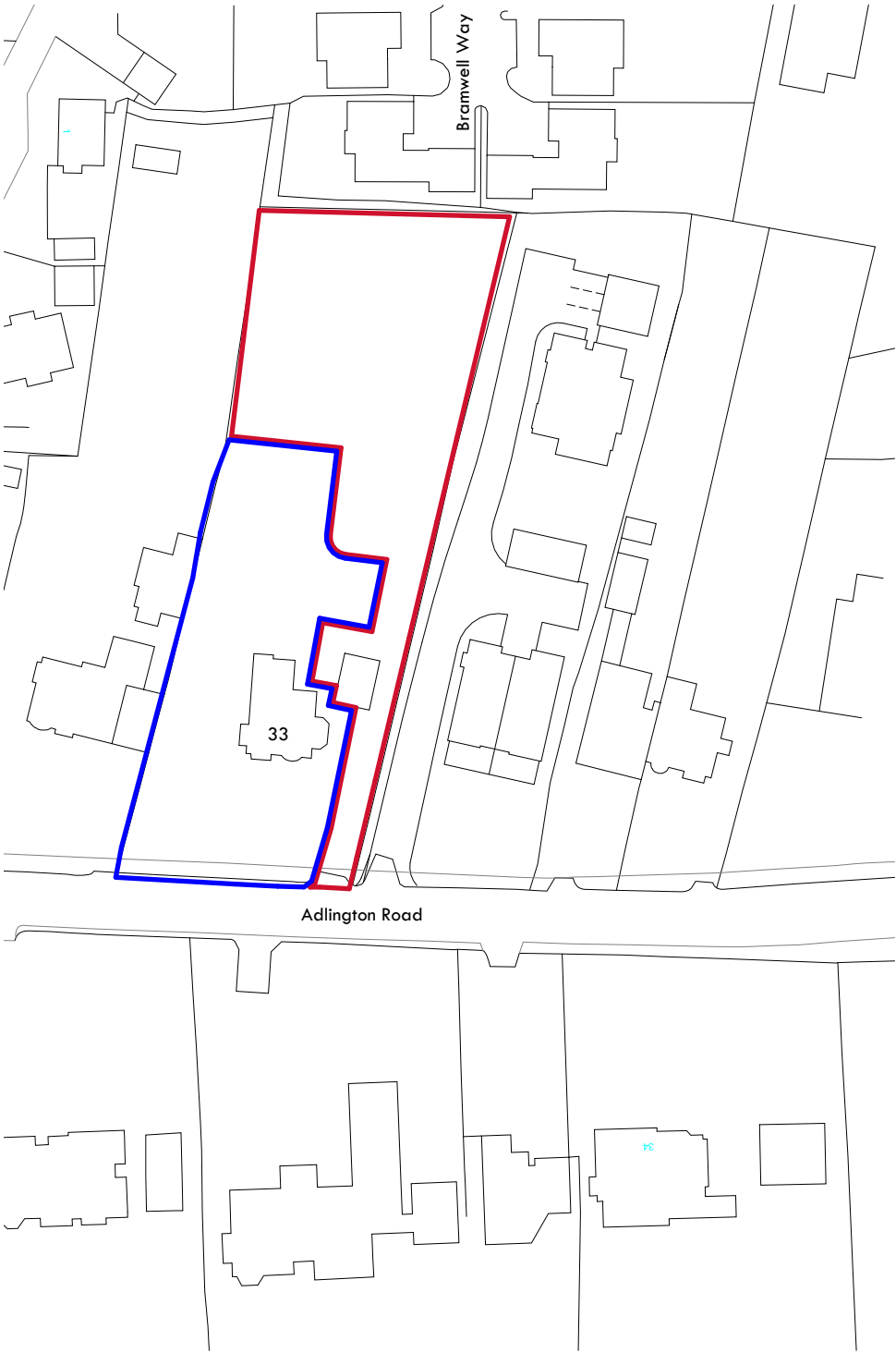
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25/1947/FUL  
Sherwood,  
33 Adlington Road,  
Wilmslow,  
SK9 2BJ

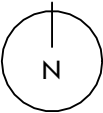
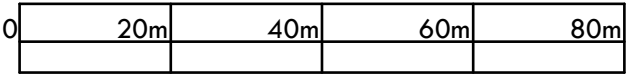
PLANNING

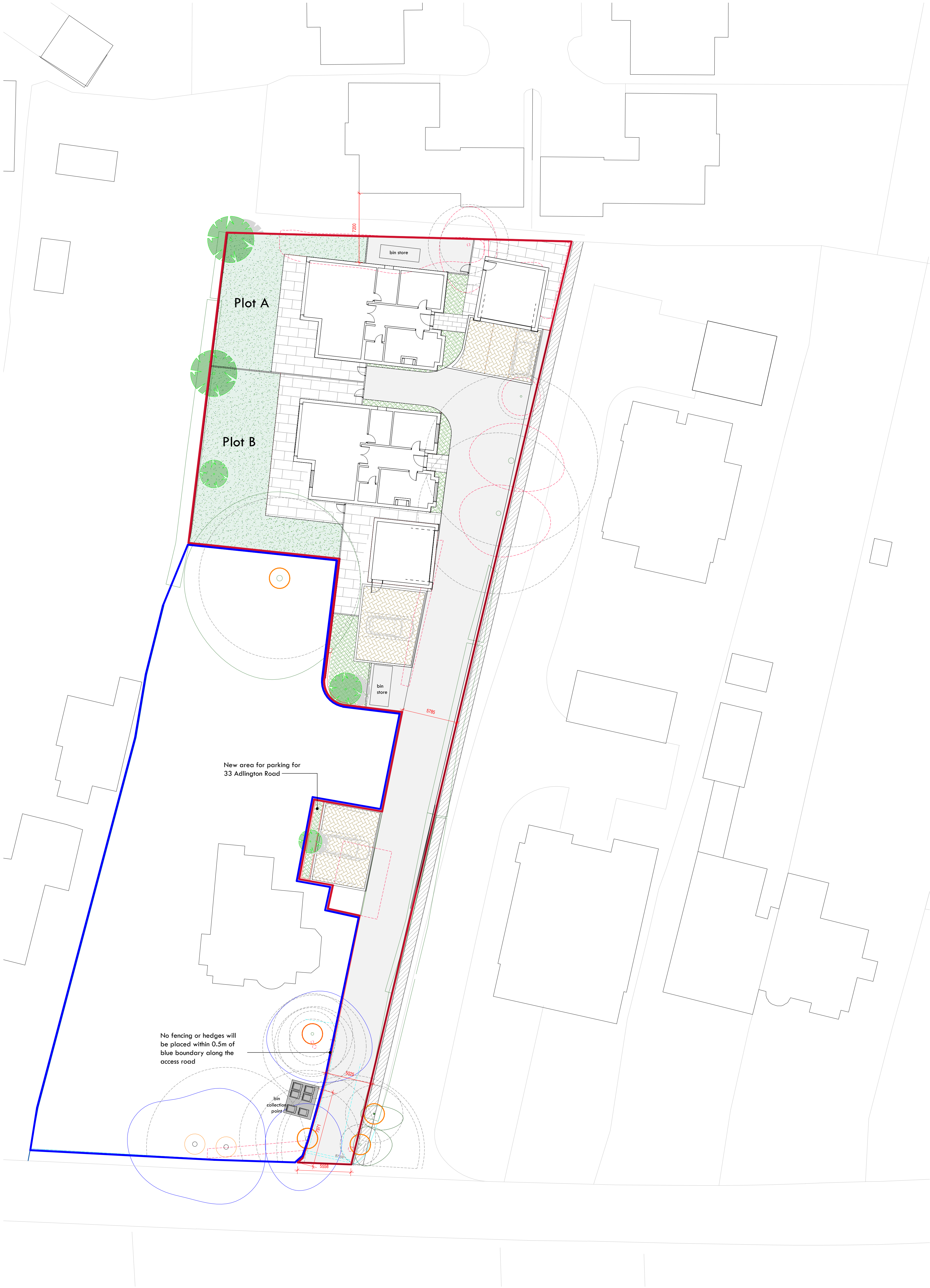
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A	planning issue	HO	AW	15.05.25



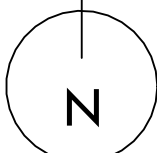
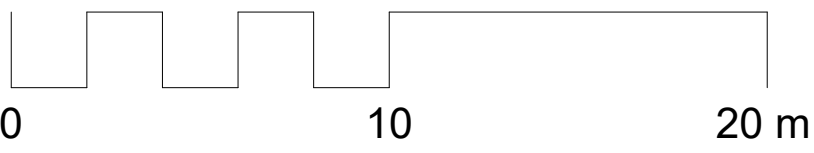
- Key:
- Site boundary
  - Land in the applicant's control

Site Location Plan  
1 : 1000





Site Plan  
1 : 200



- Key:
- Site boundary
  - Land in the applicant's control

nc architecture

PROJECT  
Land at 33 Adlington Road  
33 Adlington Road  
Wimslow

POSTCODE  
SK9 2BJ

PLANNING

DRAWING  
Proposed Site Plan

PROJECT NO.	DWG NO.	REV NO.	SCALE
2725	P-051	E	1 : 200
DRAWN BY	CHECKED BY	DATE	
AS	NSC		

REV.	DESCRIPTION	REV.	DATE
A	first issue	HO	02.04.25
B	updated to suit client comments	HO	24.04.25
C	planning issue	HO	15.05.25
D	amended houses locations	AS	25.07.25
E	Boundary Note Added	AS	08.08.25



- Notes:**
- 1. All dimensions are to be checked on site before the commencement of works. Any discrepancies are to be reported to the Architect & Engineer for verification. Figured dimensions only are to be taken from this drawing.
  - 2. This drawing is to be read in conjunction with all relevant Engineers' and Service Engineers' drawings and specifications. This drawing is copyright.

A	13/08/25	Minor amends	TC	MC
Rev	Date	Description	Ckd	By

Adamson House, Towers Business Park  
Wilmslow Road  
Manchester  
M20 2YF

Tel: 0161 955 4422  
Email: manchester@coraiht.com  
Web: www.coraiht.com

Client

NC Architecture

Project

33 Adlington Road  
Wilmslow

Title

Access Arrangement  
Tracking

Drawing Status

Job No. 16-3186

Drawn MC	Checked TC	Scale at A3 1:500	Date 28/07/25	Issue Date -
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Drawing No. 002

A



SPECIFICATION

EXCAVATION AND TOPSOILING

Topsoil Depths  
Topsoil depths are to be as follows:-  
i) in grass areas 150 mm  
ii) in shrub bed areas 400 mm  
Tree pits are to be 600 x 600 x 600 mm overall depth.

Prior to topsoiling all areas to receive topsoil shall be ripped in two directions to a depth of 300 mm and all stones and debris removed. Topsoil shall be loose tipped and lightly spread using the back of an excavator bucket or by hand where machine work is not possible. After spreading topsoil ensure that any compaction is forked or rotavated out. Topsoiled areas shall be in an uncompacted and uncontaminated state prior to setting out of shrub and grass areas.

Weed Clearance

If authorized by the Architect prior to the commencement of grassing or planting areas shall be cleared of weed growth. All vegetation shall be collected and removed from site.

Imported Topsoil

Imported topsoil shall be obtained from an approved source and shall be clean weed free natural as dug topsoil to BS 3882, free from excessive stone and roots. Re-manufactured soils shall not be acceptable.

PLANTING WORKS

Plant material:

All plant material shall be containerised or bare root and in compliance with BS 3936: 1985 Part 1, from an approved source and to satisfaction of the Landscape Architect or Supervising Officer. Plants shall be free from disease and infection, with no damage to bark, stem, root or foliage.

Plants shall be first class representatives of their normal species or varieties and shall have well developed branches and fibrous rooting systems.

Planting Operations

Taking care to avoid damage and disturbance to roots, rootballs or stems, plant all material at the same depth at which it has been previously growing. Excavate plant pits to allow roots to be spread within the pit.

Polythene and other non-perishable containers are to be removed and any badly damaged roots carefully pruned. Dig over beds, breaking up soil and rake off stones over 40 mm in any dimension. Remove all rubbish and weed growth to tip. Allow for spraying out weed growth as necessary.

Plants shall be firmly planted with 50 g of slow release fertilizer such as 'Vitag' plus moist compost mixed in with the backfill, along with an approved mychorrhizal soil ameliorant. A solution of 'Alginure' in water (1:99) should be applied to the shrub bed after planting so that the backfill is well watered in and the plant is firmed into the pit by treading.

All native trees and bare root plants shall receive 'Alginure' root dip prior to planting. Prune back all native hedging or transplants by min 1/3rd following planting.

Planting Operations: Trees

Trees shall be planted into tree pits and well staked with 2 No. stakes and a single cross bar set 600 mm above ground level. Base of tree pits shall be broken up to 300 mm before planting. Prior to backfilling, the soil shall be finely broken down and 200 g of a slow release fertilizer such as 'Vitag' incorporated into the backfill, with tree planting compost (50% by volume).

'Puddle' the backfilled tree pit with a 1:99 solution of 'Alginure' to ensure the tree pit is well watered. Location of tree pits shall be made by the Main Contractor to avoid conflict with underground services.

Mulch

Following planting all beds shall be forked over, raked level and covered with a 75 mm layer of approved bark mulch. (50 mm compacted depth).

Maintenance

The Maintenance period shall run for a period of 12 months after practical completion and shall be undertaken only during suitable weather conditions.

Tree ties shall be regularly inspected and adjusted during the maintenance period.

Shrub areas shall be kept clear of litter and debris, weeding shall be carried out in shrub beds at each grass cutting visit. Weed control may be carried out in order to promote healthy and vigorous growth. Native shrubs and trees shall be maintained with a 1 m dia weed free area to the base of each plant. Watering shall be carried out during periods of drought or as instructed by the Architect. The landscape sub-contractor will be responsible for the watering of all trees, shrubs and grass areas in order to minimize plant losses.

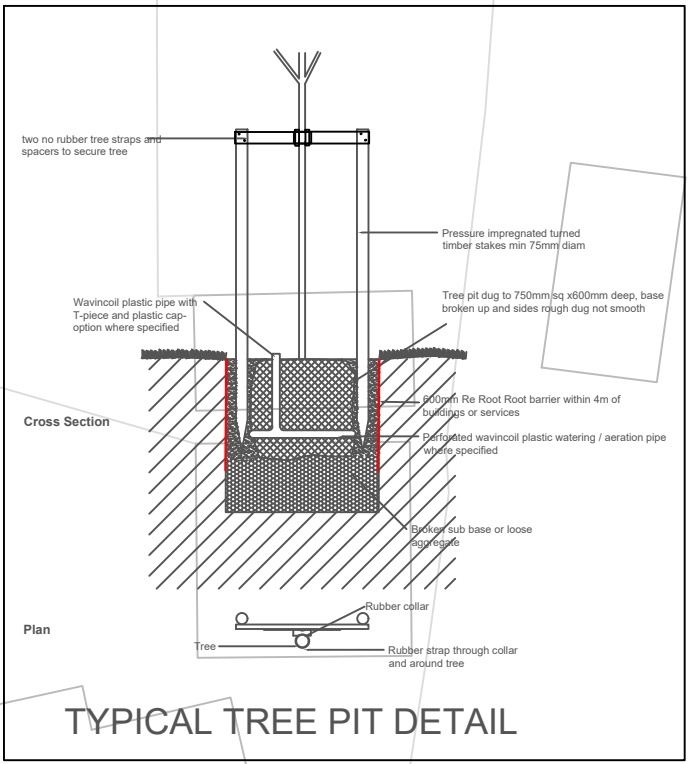
DEFECTS LIABILITY

The sub-contractor shall be responsible for the replacement of any plant material that fails to thrive through fault or omission on behalf of the landscape sub-contractor in the supply, transport, handling, planting operations or maintenance operations, where carried out by the landscape sub-contractor.

Defects works may include the following measures:

- 1) Dusting, spraying or pruning as necessary;
- 2) Cutting out dead and damaged wood
- 3) Stone picking
- 4) Making good damaged or dead turf areas
- 5) Replacement of dead or dying plant material

The planting and maintenance rates in the tender shall be deemed to include for all such costs and no additional payments shall be made for any works under Defects Liability.

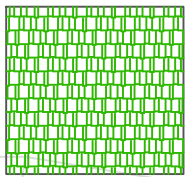


TYPICAL TREE PIT DETAIL

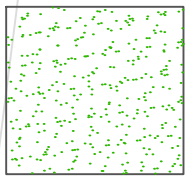
Protected RPA zone- hand work only within this area- see Arb report



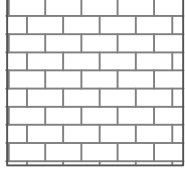
LEGEND



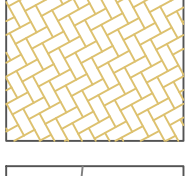
All soft landscape areas for shrub planting to be cleared of debris, decompacted and prepared for planting or turfing, with 400mm depth topsoil. Plants at 3-8no /sqm- see typical planting section. All soft landscape areas to be cultivated and planted with shrubs/perennials and mulched with bark mulch



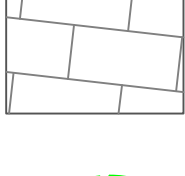
All grass areas to be provided with min 150mm depth topsoil, decompacted, cultivated and turfed with cultivated grade turf



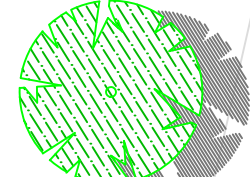
Entrances to houses paved in London Stone porcelain paving R14 grip rated laid to suppliers instructions



Parking areas paved in Tobermore Hydropave or similar permeable block paving



Circulation paths and pedestrian access points surfaced in pcc slab paving to clients choice, sand:cmt mortar bedded on 150mm MOT type gritstone subbase with resin grout pointing to joints



Planting areas- preparation:

Main Contractor to bring site to formation level being 400mm or 150mm below finished levels to receive topsoil by landscape contractor. Clear all rubble and debris from areas prior to ripping or rotavating to 300mm depth.

Import clean weed free natural as-dug topsoil to BS 3882 to bring up levels where low and in consultation with the clerk of the works. Ensure all planted areas are provided with a minimum of 450mm depth topsoil. Rake and minor grade all areas to levels, ensuring soil is min 150mm below dpc levels.

Do not carry out excavation under canopy spread of any trees to be retained which shall be protected by approved Tree Protection fencing erected at canopy edge and maintained in place during the works.

Bed ref	Species	Pot Vol	Size	Area	Density/sqm	quantity
		Litres	cm	sqm		no.
A1	Choisya Sundance	3L	45-60	2	3	6
A2	Nepeta mussinnii	2L	20-30	2.5	3	8
A3	Skimmia rubella	3L	30-45	3	4	12
A4	Hebe Red Edge	3L	20-30	1.5	5	8
A5	Rhodo yakk Doc	3L/RB	30-45	3	4	12
A6	Hebe Red Edge	3L	20-30	1.5	5	8
A7	Spiraea Goldmound	3L	30-45	3	4	12
A8	Hebe subalpina	2L	20-30	2.6	4	10
B1	Spiraea Goldmound	3L	30-45	2	4	8
B2	Carex Evergold	2L		2.7	5	13
B3	Hebe Midsummer Beauty	3L	20-32	3.6	3	10
B4	Lavandula Hidcote	3L	20-30	2.5	8	20
B5	Lavandula Hidcote	3L	20-30	1.6	8	12
B6	Spiraea Goldmound	3L	30-45	1.8	4	8
B7	Sedum spect Autumn Joy	3L	20-30	2.9	5	15
B8	Hebe Red Edge	3L	20-30	1.2	5	6
C1	Nepeta mussinnii	2L	20-30	4	3	12
C2	Choisya Sundance	3L	45-60	4.3	3	12
C3	Coto. conspicuus Decorus	3L	30-45	11	3	33
C4	Hebe Midsummer Beauty	3L	20-32	3	3	9
C5	Lavatera Barnsley	3L	30-45	8	3	24
C6	Osmanthus x burkwoodii	3L	30-45	7	3	21
T1	Damson wall trained	15L	1.2-1.8mht			1NO.
T2	Liquidamabar Styraciflua	Sel Std	10-12 cm			1NO.
T3	Prunus subhirtella autumnalis Std	8-10cm	3-3.5m ht			1NO.
T4	Sorbus aria Lutescens Sel Std	10-12cm g	3-3.5m ht			1NO.
T5	Sorbus aria Lutescens Sel Std	10-12cm g	3-3.5m ht			1NO.

PLANT KEY AND SCHEDULE

drawing title landscape proposals

Land adjacent to 33 Adlington Rd,  
Wilmslow  
SK9 2BJ

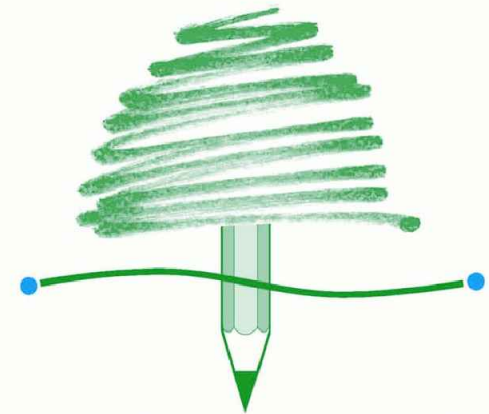
date May 2025

scale 1:200 at A1

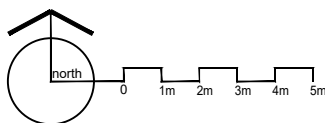
drawing no. M25/ 1706 / L01

**FFC Landscape Architects**  
landscape and garden design consultants

Forward House, 17 High St, Henley in Arden  
32 Stoke Business Centre, Hanley, Staffs  
Wooster Cottage, Gilberts End Lane, Hanley Castle, Malvern, Worcs  
tel 01782 791506/ 07960 772307  
Email fflandscapearchitects@gmail.com



**FFC Landscape Architects**  
Landscape and Garden Design Consultants



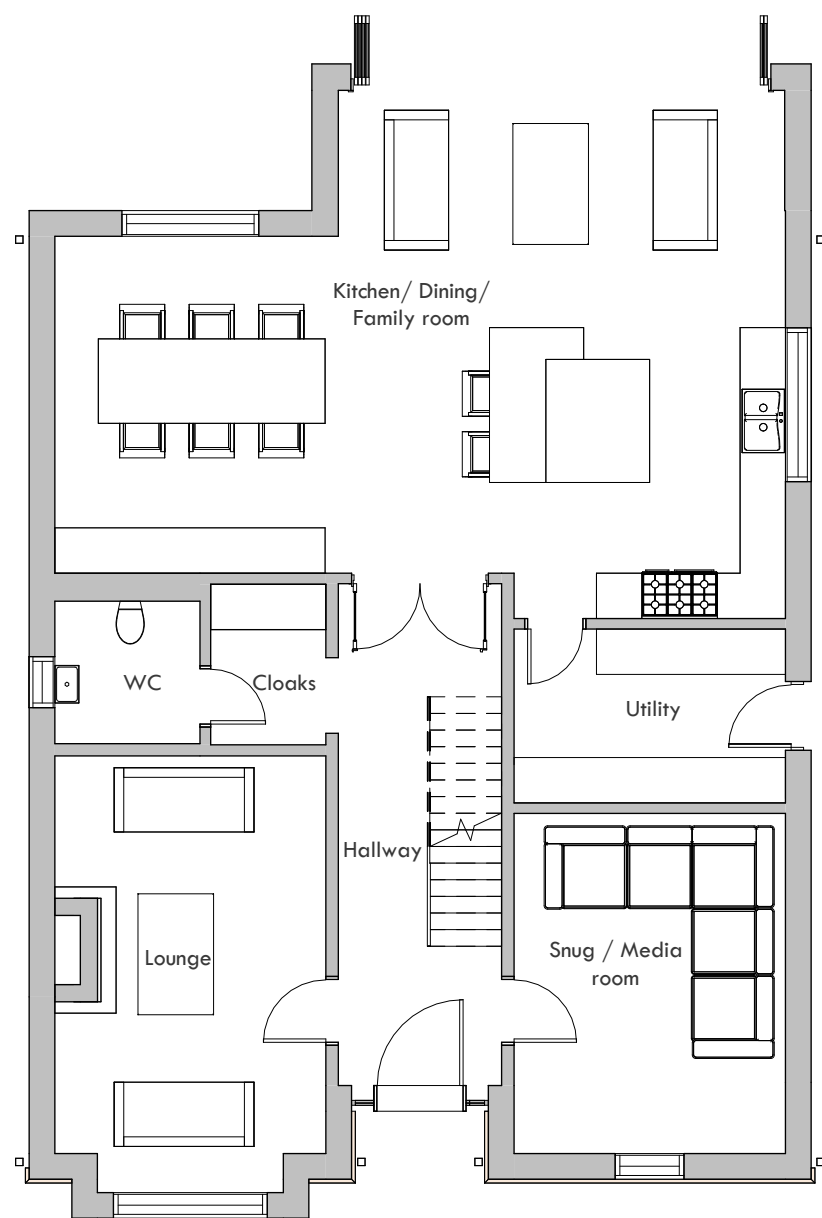


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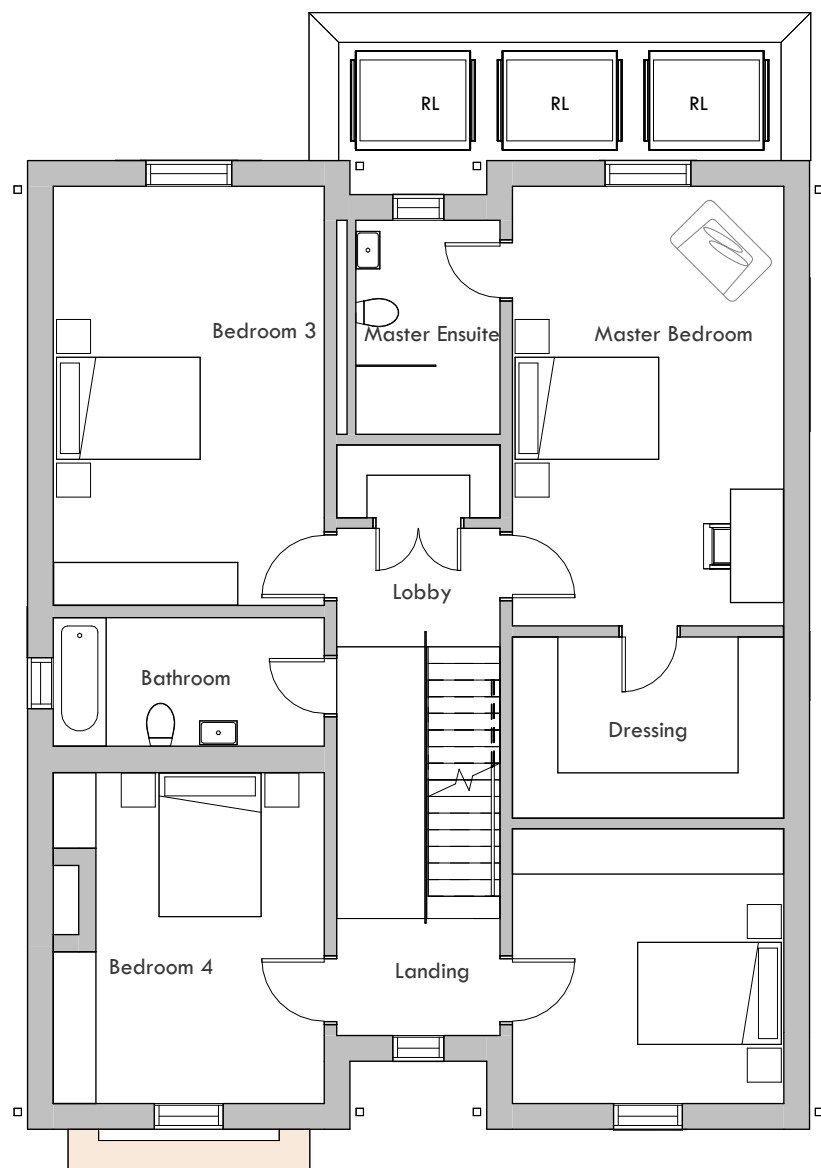
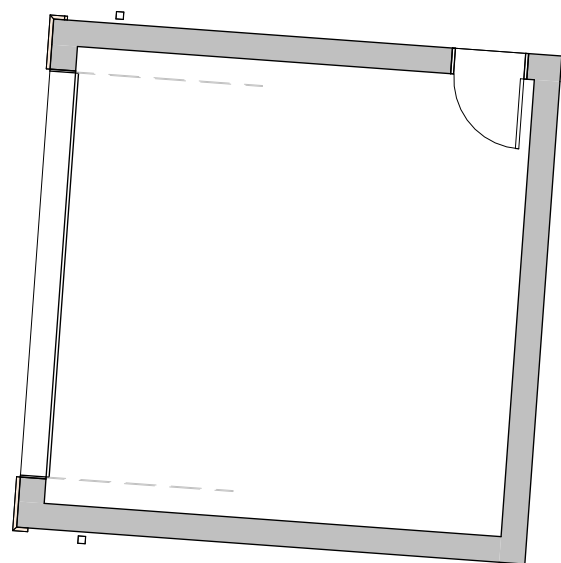
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A	Updated scheme first issue	HO	AW	08.05.23
B	LAYOUT changes to suit client comments	HO		14.05.23

Area Schedule (GIA)	
Name	Area
Proposed Ground Floor	1377 m²
Proposed First Floor	1192 m²
Proposed Second Floor	668 m²
TOTAL	3236 m²

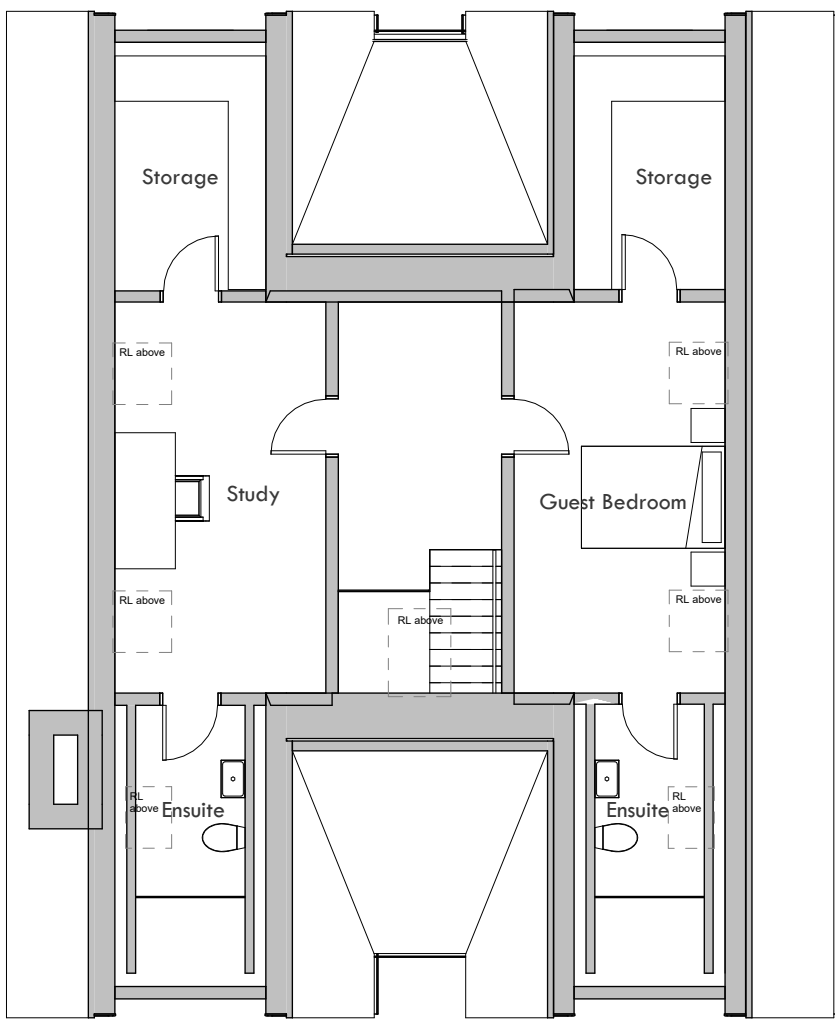
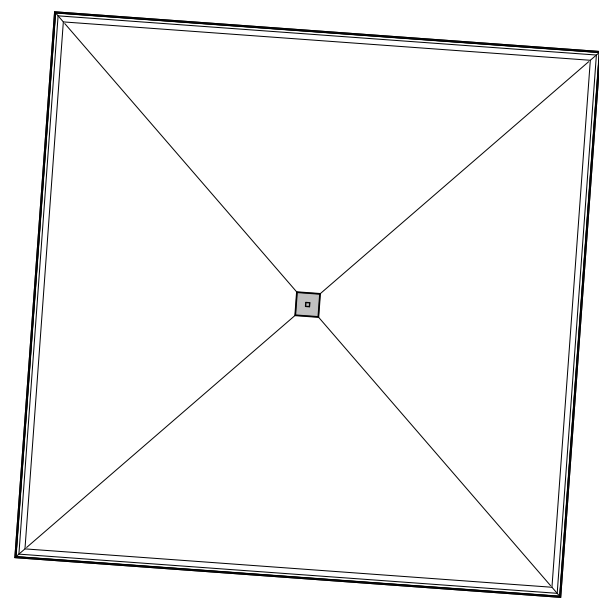
(+388 m² garage)



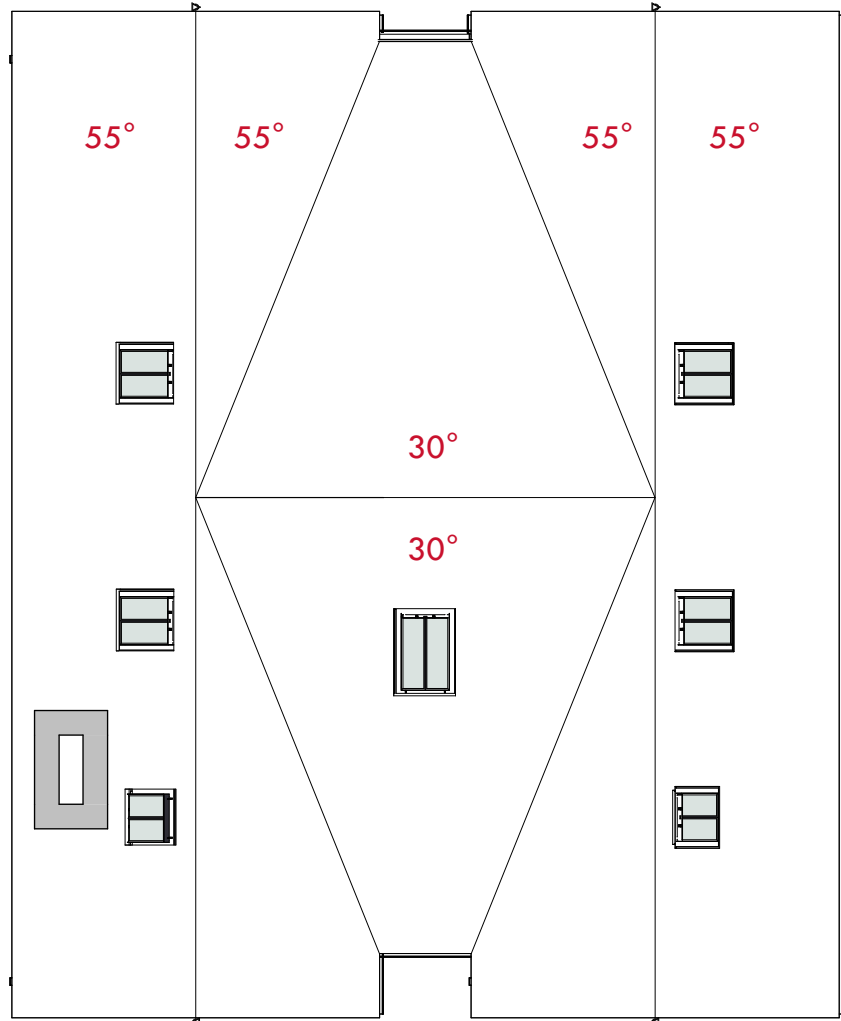
Proposed Ground Floor Plan  
1 : 100



Proposed First Floor Plan  
1 : 100



Proposed Second Floor Plan  
1 : 100



Proposed Roof Plan  
1 : 100

PLANNING

REV	DESCRIPTION	INTL	CHK	DATE
A	Updated scheme first issue	HO	AW	08.05.23
B	Lay-out changes to suit client comments	HO	HO	14.05.23



Front Elevation  
1 : 100



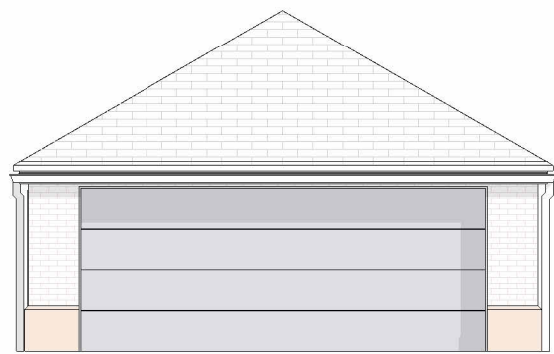
side (L) Elevation  
1 : 100



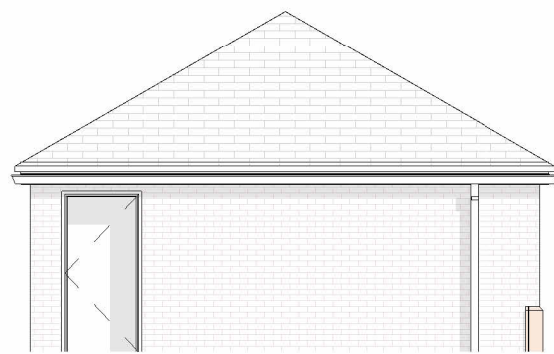
side (R) Elevation  
1 : 100



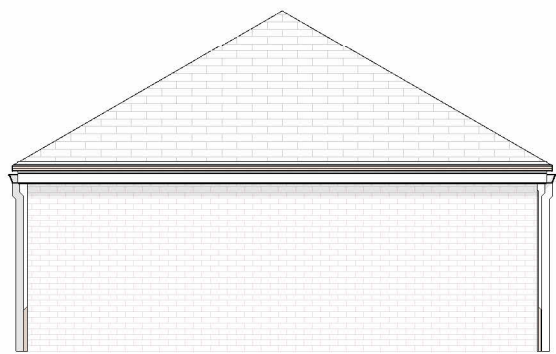
Rear Elevation  
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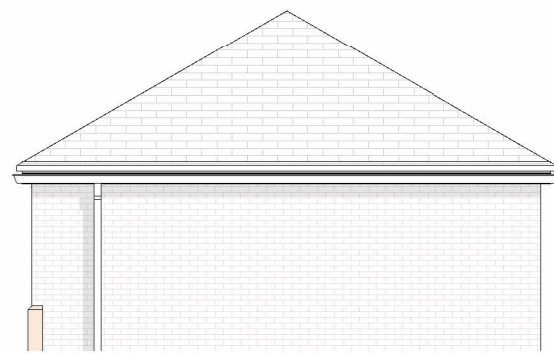
Garage Front Elevation.  
1 : 100



Garage Side (L) Elevation.  
1 : 100



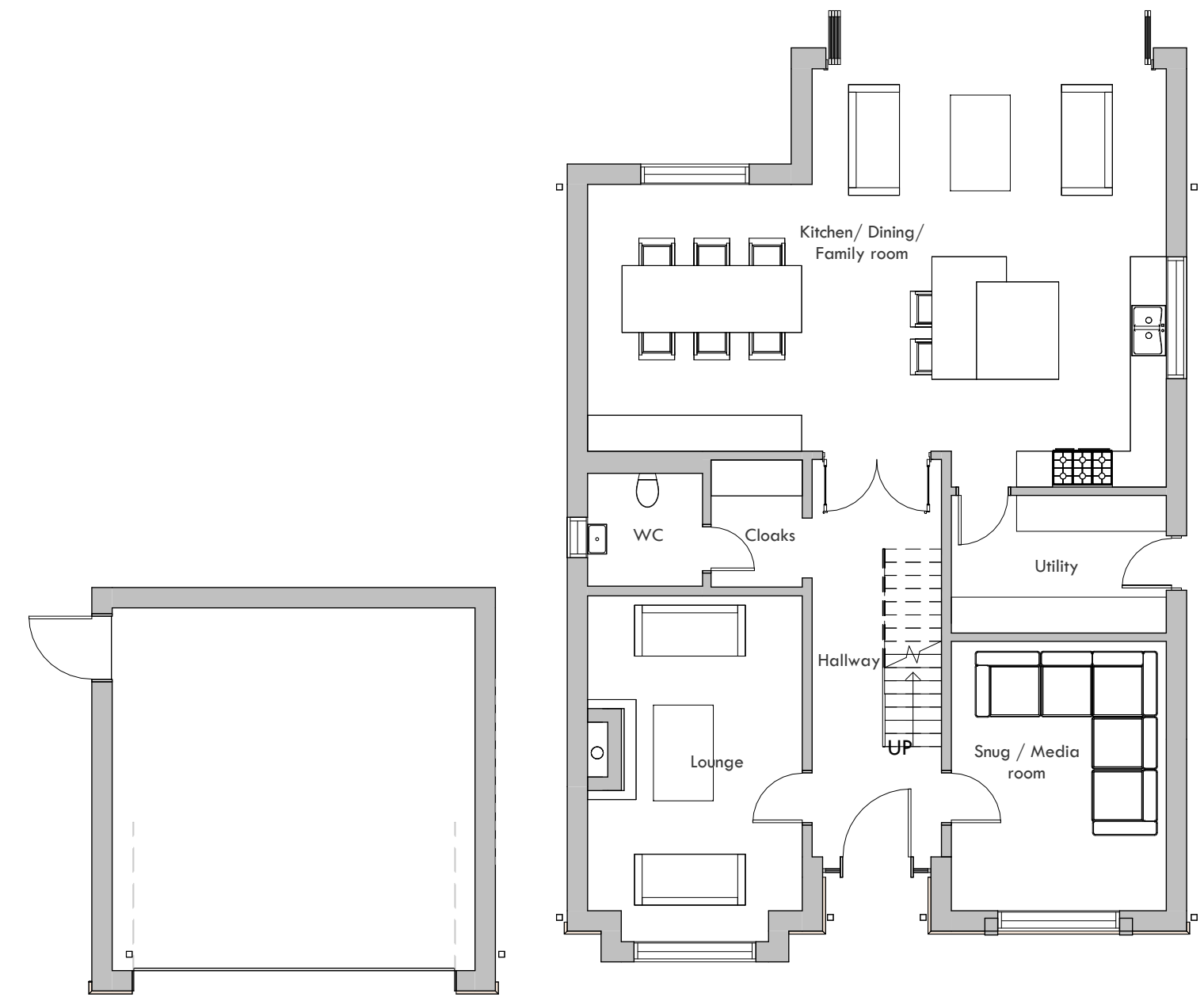
Garage Rear Elevation.  
1 : 100



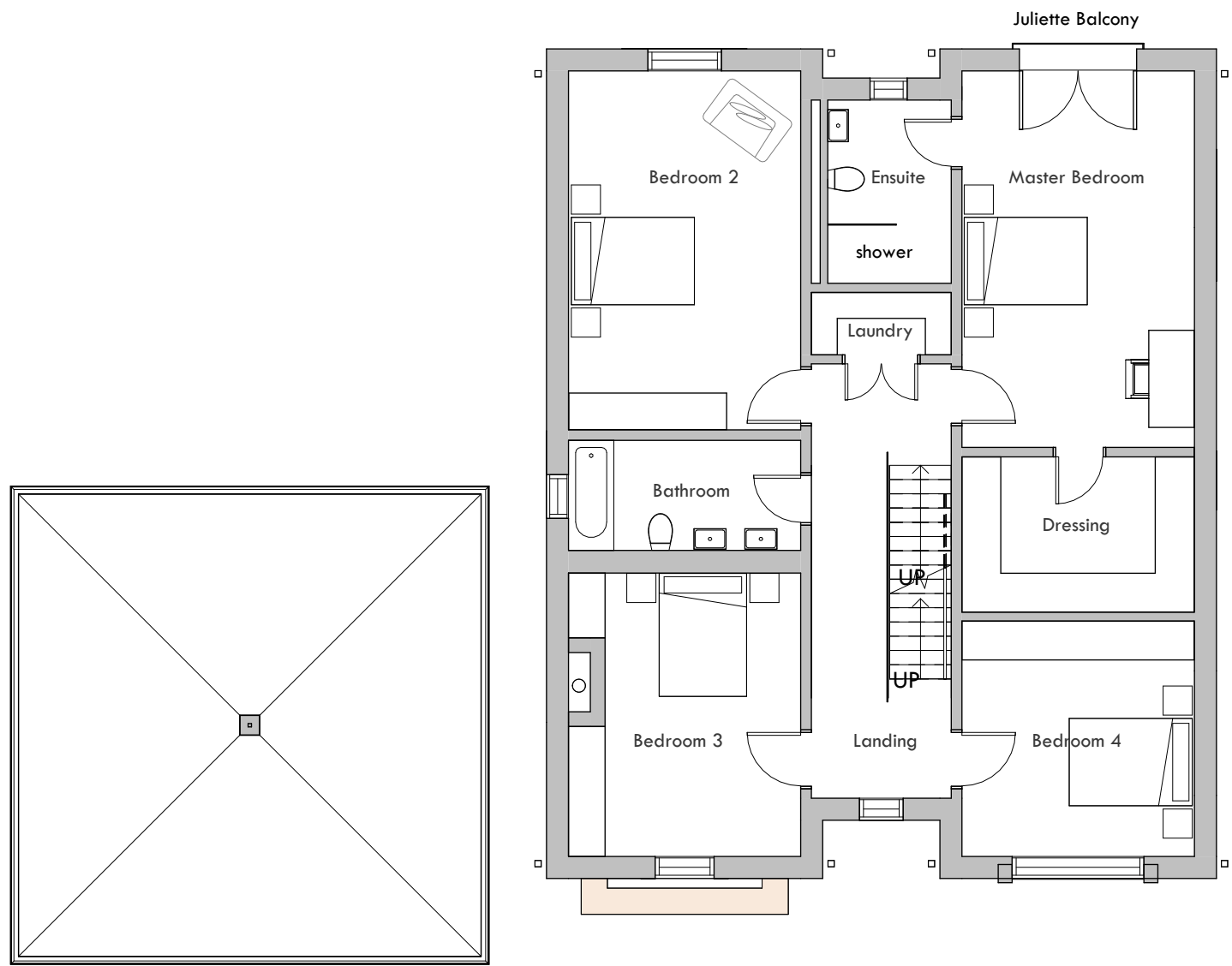
Garage side (R) Elevation.  
1 : 100

PLANNING

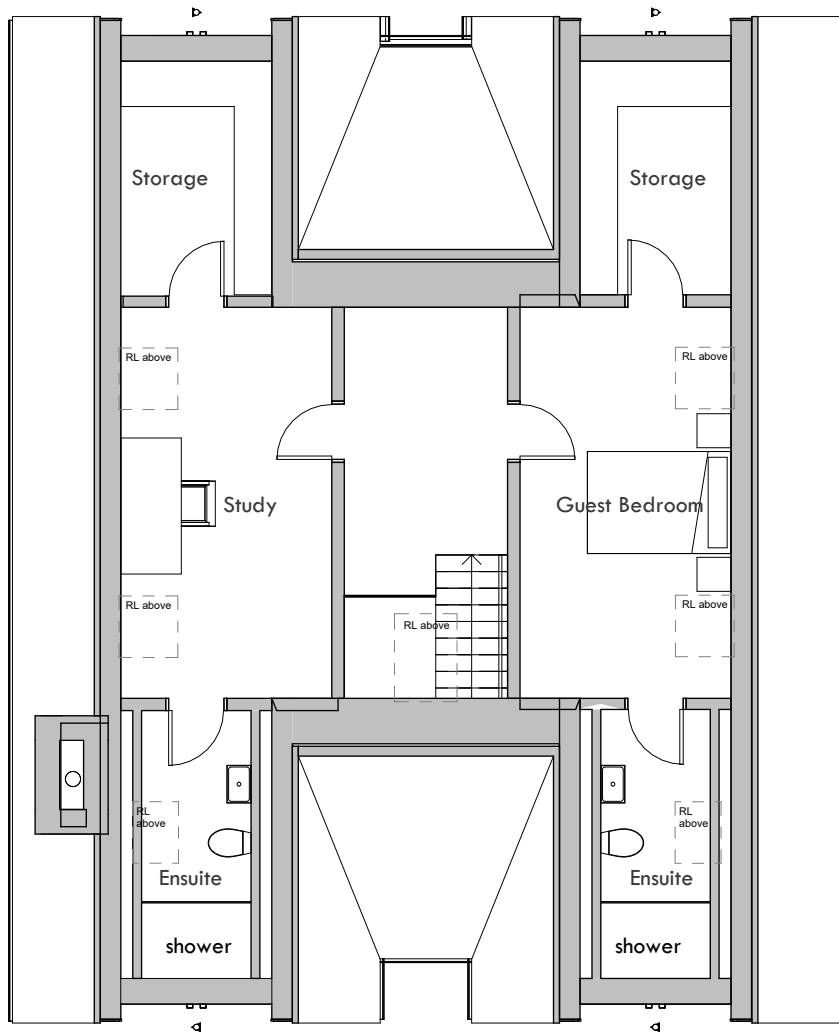
REV.	DESCRIPTION	INTL.	CHK.	DATE
A	Updated scheme first issue	HO	AW	08.05.23
B	LAYOUT changes to suit client comments	HO		14.05.23
C	Updated location of houses	AS	NSC	25.07.23
		M		



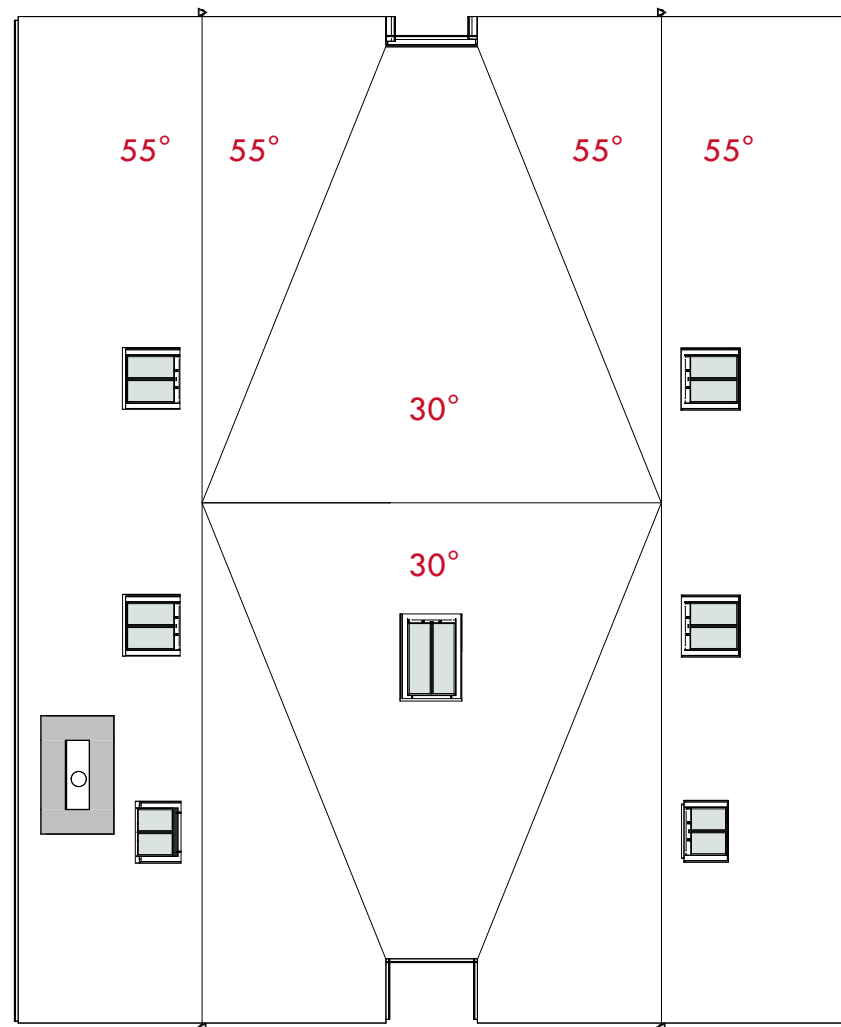
Proposed Ground Floor Plan  
1 : 100



Proposed First Floor Plan  
1 : 100



Proposed Second Floor Plan  
1 : 100



Proposed Roof Plan  
1 : 100



PLANNING

REV.	DESCRIPTION	INTL.	CHK.	DATE
A	Updated scheme first issue	HO	AW	08.05.23
B	LAYOUT changes to suit client comments	HO		14.05.23
C	Updated location of houses	AS	NSC	25.07.23
		M		



Front Elevation  
1 : 100



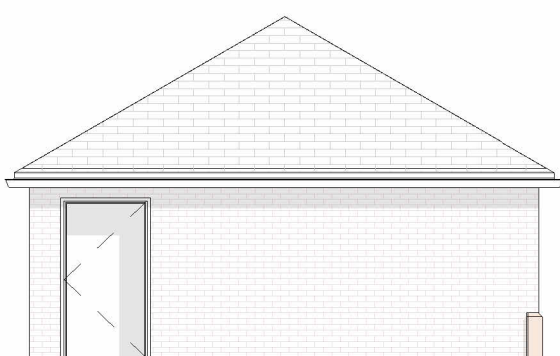
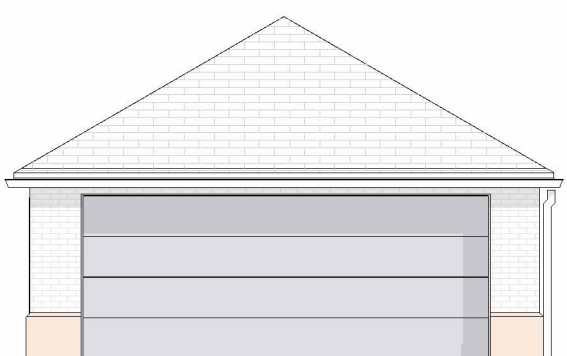
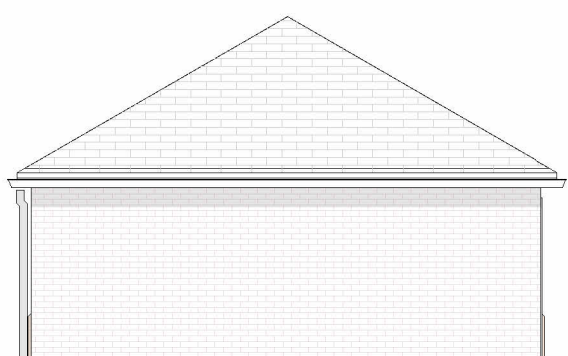
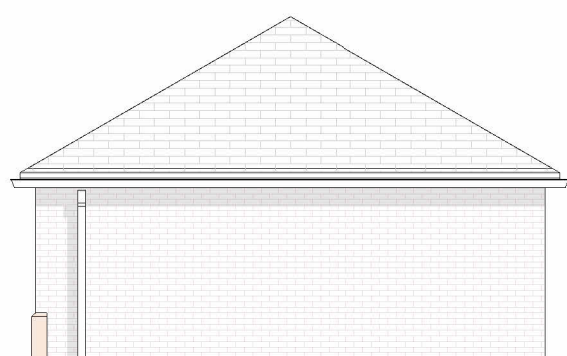
side (L) Elevation  
1 : 100



side (R) Elevation  
1 : 100



Rear Elevation  
1 : 100



Garage Elevations  
1 : 100

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